



ACTIVITY DETERMINATION


Determined by the New South Wales Land and Housing Corporation

Project No. BH27J

Conflict of Interest¹

In this matter:

1. I have declared any possible conflict of interests (real, potential or perceived) to the Head of Housing Portfolio, Homes NSW.
2. I do not consider I have any personal interests that would affect my professional judgement.
3. I will inform the Head of Housing Portfolio, Homes NSW as soon as I become aware of a possible conflict of interest.

Signed.......... Dated..12/05/2025

Lisa Marigliano
Executive Director, Portfolio Development
Housing Portfolio
Homes NSW

Having regard to the Determination Recommendation Report, the Statement of Compliance and the Review of Environmental Factors for this project addressing matters under Part 5 of the *Environmental Planning and Assessment Act 1979*, I, as a delegate of the New South Wales Land and Housing Corporation, determine that the activity proceed as described below and subject to the identified requirements set out in **Schedule 1**.

SITE IDENTIFICATION

STREET ADDRESS

Unit/Street No

29-35, 37 & 39

38

Street or property name

Lochinvar Road

Ferndale Road

Suburb, town or locality

Revesby NSW

Postcode

2212

Local Government Area(s)

Canterbury-Bankstown

Real property description (Lot and DP)

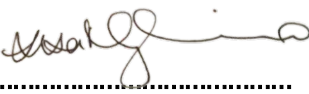
Lots 52-55 in DP 36467
including existing drainage easement across Lots 56, 57 &
74 in DP 36467

1. Conflict of interest includes actual and potential. A conflict of interest includes pecuniary i.e. financial interests to you or a related party or non-pecuniary i.e. benefits to relatives, friends, business associates and personal causes, etc. This includes "close relative of a person" as defined in section 49(6) of the Property and Stock Agents Act 2002.

ACTIVITY DESCRIPTION

Provide a description of the activity

Demolition of existing structures, removal of 15 existing trees, and construction of a 2-storey seniors housing development containing a total of 19 units comprising 11 x 1 bedroom and 8 x 2 bedroom dwellings, 9 at grade car parking spaces, landscaping and associated site works, and consolidation into a single lot; and proposed drainage works within existing easement across Lots 56, 57 and 74 in Deposited Plan 36467

Signed.....

Dated.....12/05/2025

Lisa Marigliano
Executive Director, Portfolio Development
Housing Portfolio
Homes NSW

SCHEDULE 1

IDENTIFIED REQUIREMENTS

PART A – Standard Identified Requirements

THE DEVELOPMENT

The following identified requirements are to ensure that the residential activity is carried out in accordance with the plans / documents and any amendments arising from the Review of Environmental Factors under Part 5 of the Environmental Planning & Assessment Act 1979, Section 171 of the Environmental Planning and Assessment Regulation 2021 and the requirements of State Environmental Planning Policy (Housing) 2021.

1. The development shall be carried out substantially in accordance with the following plans / documents as modified below and by any of the undermentioned identified requirements:

Title / Name:	Drawing No. / Document Ref	Revision / Issue:	Date [dd/mm/yyyy]:	Prepared by:
Architectural Plans				
Cover Page	1 of 18	B	10/02/2025	DTA Architects
Block Analysis Plan	2 of 18	B	10/02/2025	DTA Architects
Site Analysis Plan	3 of 18	B	10/02/2025	DTA Architects
Demolition Plan	4 of 18	B	10/02/2025	DTA Architects
Development Data	5 of 18	B	10/02/2025	DTA Architects
Site Plan	6 of 18	B	10/02/2025	DTA Architects
Ground Floor Plan	7 of 18	B	10/02/2025	DTA Architects
First Floor Plan	8 of 18	B	10/02/2025	DTA Architects

Title / Name:	Drawing No. / Document Ref	Revision / Issue:	Date [dd/mm/yyyy]:	Prepared by:
Roof Plan	9 of 18	B	10/02/2025	DTA Architects
Elevations	10 of 18	B	10/02/2025	DTA Architects
Elevations	11 of 18	B	10/02/2025	DTA Architects
Sections	12 of 18	B	10/02/2025	DTA Architects
Sections	13 of 18	B	10/02/2025	DTA Architects
Shadow Diagrams	14 of 18	B	10/02/2025	DTA Architects
View From Sun Diagram	15 of 18	B	10/02/2025	DTA Architects
View From Sun Diagram	16 of 18	B	10/02/2025	DTA Architects
Perspectives	17 of 18	B	10/02/2025	DTA Architects
Perspectives	18 of 18	B	10/02/2025	DTA Architects
Landscape Plan				
Landscape Plan	1 of 1	D	19/02/2025	Ray Fuggle & Associates Pty Ltd
Civil/Stormwater Plans				
Specifications Sheet	1 of 17	B	04.10.2024	MSL Consulting Engineers Pty Ltd
Overall Site Drainage Plan	2 of 17	B	04.10.2024	MSL Consulting Engineers Pty Ltd
OSD Catchment Area	3 of 17	B	04.10.2024	MSL Consulting Engineers Pty Ltd
Drainage Plan Sheet 1	4 of 17	B	04.10.2024	MSL Consulting Engineers Pty Ltd
Drainage Plan Sheet 2	5 of 17	B	04.10.2024	MSL Consulting Engineers Pty Ltd
Drainage Plan Sheet 3	6 of 17	B	04.10.2024	MSL Consulting Engineers Pty Ltd
Drainage Plan Sheet 4	7 of 17	B	04.10.2024	MSL Consulting Engineers Pty Ltd
Drainage Plan Sheet 5	8 of 17	B	04.10.2024	MSL Consulting Engineers Pty Ltd
OSD/Rainwater Tank Base Plan	9 of 17	B	04.10.2024	MSL Consulting Engineers Pty Ltd
OSD/Rainwater Sections & Stormwater Details	10 of 17	B	04.10.2024	MSL Consulting Engineers Pty Ltd
Stormwater Details	11 of 17	B	04.10.2024	MSL Consulting Engineers Pty Ltd
Sediment Control Plan Sheet 1	12 of 17	B	04.10.2024	MSL Consulting Engineers Pty Ltd
Sediment Control Plan Sheet 2	13 of 17	B	04.10.2024	MSL Consulting Engineers Pty Ltd
Sediment Control Plan Sheet 3	14 of 17	B	04.10.2024	MSL Consulting Engineers Pty Ltd
Sediment Control Plan Sheet 4	15 of 17	B	04.10.2024	MSL Consulting Engineers Pty Ltd

Title / Name:	Drawing No. / Document Ref	Revision / Issue:	Date [dd/mm/yyyy]:	Prepared by:
Sediment Control Plan Sheet 5	16 of 17	B	04.10.2024	MSL Consulting Engineers Pty Ltd
Sediment & Erosion Control Details	17 of 17	B	04.10.2024	MSL Consulting Engineers Pty Ltd
Cut and Fill Plan	1 of 1	A	04.10.2024	MSL Consulting Engineers Pty Ltd

Contour and Detail Survey

Detail and Level Survey	Sheet 1 of 3	-	07/06/2023	S.J Surveying Services Pty Ltd
Level Survey Along Proposed Line of Easement	Sheet 2 of 3	-	07/09/2023	S.J Surveying Services Pty Ltd
Footpath Gradient	Sheet 3 of 3	-	10/06/2023	S.J Surveying Services Pty Ltd

Access Report

Access Report	24132-DA	A	10/10/2024	Ai Consulting (Aust)
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Arborist's Report

Arboricultural Impact Assessment	F881	A	30/10/2024	Creative Planning Solutions
Arboricultural Advice	-	-	12/03/2025	Creative Planning Solutions

BASIX

BASIX Certificate	Cert No. 1769007M_02	-	25/10/2024	Greenview Consulting Pty Ltd
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BCA report

BCA Compliance Assessment	P240070(2)	2	09/10/2024	BCA Vision
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NatHERS Certificate

Nationwide house energy rating scheme – class 2 summary	No. 0009819390	-	25/10/2024	Greenview Consulting Pty Ltd
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Flood Report

Flood Statement	FR23208	-	24/7/2024	MSL Consulting Engineers Pty Ltd
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Geotechnical Investigation

Geotechnical Investigation Assessment	No. 23/1943	-	July 2023	STS Geotechnics Pty Ltd
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Waste Management Plan

Waste Management Plan	-	-	-	Homes NSW
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Traffic Impact Assessment

Traffic Impact Assessment	-	3	18/02/2025	Park Transit
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- All building work is to be undertaken in accordance with the National Construction Code and referenced Australian Standards.

3. All commitments listed in the BASIX certificate and stamped plans shall be implemented.
4. All construction documentation and building work is to be certified in accordance with Section 6.28 of the Environmental Planning and Assessment Act 1979.
5. The land the subject of this determination shall be consolidated into a single lot. The plan of consolidation shall be lodged at the NSW Land Registry Services and shall be registered prior to the occupation of the development. A copy of the registered plan shall be provided to the Land and Housing Corporation.

OPERATIONAL MATTERS

The following Identified Requirements relate to the use of the site and are to ensure that the activity and its operation do not interfere with the amenity of the surrounding area.

Stormwater Run-off

6. Stormwater shall be collected within the site and conveyed in a pipeline to the appropriate gutter or drain under the control of Canterbury-Bankstown Council substantially in accordance with the approved concept stormwater drainage plans.
7. Alterations to the natural surface contours or surface absorption characteristics of the site shall not impede, increase or divert natural surface water runoff so as to cause a nuisance to adjoining property owners.
8. All driveways shall be graded in such a manner as to provide continuous surface drainage flow paths to the appropriate points of discharge.
9. To prevent water from entering buildings, surface waters shall be collected and diverted clear of the buildings by a sub-surface / surface drainage system.

Vehicular Access & Parking

10. A concrete vehicular crossing(s) and layback(s) shall be provided at the entrance(s) / exit(s) to the property. The crossing(s) and layback(s) shall be constructed in accordance with Canterbury-Bankstown Council's standard requirements for residential crossings. Council shall be provided with plans for the crossing(s) and layback(s) together with the payment of any council inspection fees.
11. Particular care shall be taken in the location of vehicular crossings and/or laybacks to avoid poles, pits etc. The cost of any necessary adjustments to utility mains and services associated with the construction of the layback(s) / driveway(s) shall be borne by the Land and Housing Corporation. Obsolete gutter layback(s) shall be constructed as kerb in accordance with Canterbury-Bankstown Council's standards.

Note:

It is recommended that discussion be held with the relevant authorities before construction works commence.

12. Car parking spaces and driveway(s) shall be constructed of concrete or other approved hard surfaced materials. The spaces must be clear of obstructions and columns, permanently line marked and provided with adequate manoeuvring facilities. The design of these spaces must comply with AS 2890.1.

Site Works

13. All soil erosion and sediment control measures required to be put in place prior to the commencement of demolition / construction works shall be maintained during the entire period of the works until all the disturbed areas are restored by turfing, paving or revegetation. Soil erosion and sediment control measures shall be designed in accordance with the guidelines set out in the Blue Book *Managing Urban Stormwater: Soils and Construction* (4th edition, Landcom, 2004).
14. An appropriately qualified person shall design retaining walls or other methods necessary to prevent the movement of excavated or filled ground, including associated stormwater drainage measures.

Building Siting

15. All buildings shall be sited well clear of any easements affecting the site. The builder shall ascertain if any easements do exist and, if they do, obtain full details of such prior to construction commencing.

Smoke Detection System(s)

16. Smoke detection systems shall be installed throughout the building(s) in accordance with requirements of Clause E2.2a of the Building Code of Australia. Detectors and alarms shall comply with AS 3786 and AS 1670 and must:
 - i. be connected to a permanent 240V power supply; and
 - ii. be provided with a battery backup to activate the alarm unit in the event of failure of the permanent power supply.

Site Soil Contamination

17. If the site is identified as being potentially affected by soil contamination, it shall be inspected by a suitably qualified person to identify any contaminated or hazardous material present. A proposal for remediation shall be prepared, which may include preparation of a Remedial Action Plan, and remediation shall be carried out in accordance with the proposal. A Validation Report, prepared in accordance with Environment Protection Authority requirements, shall be obtained from a qualified expert on completion of the remediation work to verify that the site is suitable for the intended residential use. A copy of the Validation Report shall be provided to the Land and Housing Corporation on completion of the remediation works.

Landscaping

18. Landscaping shall be carried out substantially in accordance with the approved landscape plan(s), as amended by Identified Requirements 86 and 87, and maintained for a period of 12 months by the building contractor. Canterbury-Bankstown Council shall be consulted in relation to the planting of any street trees.
19. All scheduled plant stock shall be pre-ordered, prior to commencement of construction or 3 months prior to the commencement of landscape construction works, whichever occurs sooner, for the supply to the site on time for installation. The builder shall provide written confirmation of the order to the Land and Housing Corporation.

Tree Removal

20. Removal of trees within the boundaries of the site is to be carried out in accordance with the trees shown for removal on the approved landscape plan and Arboricultural Impact Assessment report and no other trees, with the exception of Tree 7, shall be removed without further approval(s).

Fencing

21. All front fencing and gates shall be constructed wholly within the boundaries of the site. Any gates associated with the fencing shall swing inwards towards the site.

Provision of Letterbox Facilities

22. Suitable letterbox facilities are to be provided in accordance with Australia Post specifications.

Public Liability Insurance

23. A valid public liability insurance policy of at least \$10M shall be maintained throughout the demolition / construction works by the contractor.

PRIOR TO ANY WORK COMMENCING ON THE SITE

The following Identified Requirements are to be complied with prior to any work commencing on the site, including demolition.

Disconnection of Services

24. All services that are required to be disconnected shall be appropriately disconnected and made safe prior to commencement of the demolition / construction works. The various service authorities shall be consulted regarding their requirements for the disconnection of services.
25. All existing services within the boundary to remain live shall be identified, pegged and made safe.

Demolition

26. The builder shall notify the occupants of premises on either side, opposite and at the rear of the site a minimum of five (5) working days prior to demolition. Such notification shall be clearly written on an A4 size paper giving the date demolition will commence and be placed in the letterbox of every premise (including every unit in a multi-unit residential building or mixed use building). The demolition shall not commence prior to the date that is stated in the notice letter.
27. Prior to the demolition, a Work Plan shall be prepared by a competent person(s) in accordance with AS 2601 and shall be submitted to the Land and Housing Corporation. The Work Plan shall outline the identification of any hazardous materials (including surfaces coated with lead paint), method of demolition, the precautions to be employed to minimise any dust nuisance and the disposal methods for hazardous materials.
28. If buildings to be demolished are determined as, or suspected of, containing asbestos cement, a standard commercially manufactured sign containing the words 'DANGER

ASBESTOS REMOVAL IN PROGRESS', and measuring not less than 400mm x 300mm, shall be erected in a prominent visible position on the site for the duration of the demolition works.

Note:

Any buildings constructed before 1987 is assumed to contain asbestos.

Utilities Service Provider Notification

29. The demolition / construction plans shall be submitted to the appropriate water utility's office (e.g. Sydney Water office) to determine whether or not the development will affect the utility's sewer and water mains, stormwater drains and any easements.

Note:

If the development complies with water utility's requirements, the plans will be stamped indicating that no further requirements are necessary.

Council Notification

30. Canterbury-Bankstown Council shall be advised in writing, of the date it is intended to commence work, including demolition. A minimum period of **five (5)** working days notification shall be given.

Site Safety

31. A sign shall be erected in a prominent position on any site on which demolition or building work is being carried out:
- (a) showing the name, address and telephone number of the responsible Land and Housing Corporation officer for the work, and
 - (b) showing the name of the principal contractor (if any) and a telephone number on which that person may be contacted outside working hours, and
 - (c) stating that unauthorised entry to the work site is prohibited.

The sign shall be maintained while the work is being carried out but shall be removed when the work has been completed.

Note:

This requirement does not apply in relation to building work that is carried out inside an existing building that does not affect the external walls of the building.

32. A minimum 1.8m high security fence or Class A / Class B (overhead) hoarding must be erected between the work site and any public place prior to demolition / construction. Access to the site shall be restricted to authorised persons only and the site shall be secured against unauthorised entry when demolition / construction work is not in progress, or the site is otherwise unoccupied.

Note:

Approval from the relevant roads authority will be required under Section 138 of the Roads Act 1993 where a Class A or B hoarding encroaches onto the footpath of / or a public thoroughfare within a classified road.

33. No building or demolition materials are to be stored on the footpath or roadway.

Site Facilities

34. The following facilities shall be installed on the site:
- (a) Toilet facilities shall be provided at the rate of 1 toilet for every 20 persons or part thereof employed at the site. Each toilet provided shall be a standard flushing toilet and shall be connected to a public sewer or if connection to a public sewer is not practicable, to an accredited sewerage management facility provided by Canterbury-Bankstown Council or if this is not practicable to some other council approved management facility.
 - (b) Adequate refuse disposal methods and builders' storage facilities. Builders' wastes, materials or sheds shall not to be placed on any property other than that which this approval relates to.
35. Access to the site shall only be provided via an all weather driveway on the property and is not to be provided from any other site.

Protection of Trees

36. Trees and other vegetation that are to be retained on site and neighbouring properties shall be protected prior to the commencement of works and for the duration of the construction period in accordance with the details provided in the Arboricultural Impact Assessment. It is noted that Tree 7 is to be removed in accordance with Identified Requirement No. 86.

Root sensitive excavation within the stormwater alignment adjacent to neighbouring trees must be undertaken as well as protection in accordance with AS4970-2009 *Protection of trees on development sites*.

Waste Management

37. A final Waste Management Plan shall be prepared and submitted to the Land and Housing Corporation by the building contractor prior to the commencement of demolition / construction. The plan shall detail the amount of waste material and the destination of all materials, recyclable and non-recyclable.

PRIOR TO ANY CONSTRUCTION WORK COMMENCING ON SITE

The following Identified Requirements are to be complied with prior to any construction works occurring on the site, excluding demolition.

Service Authority Clearances

38. A compliance certificate, or other evidence, shall be obtained from Sydney Water, confirming service availability prior to work commencing.

Note:

Payment of water and/or sewer service charges and/or a notice of requirements for works to be carried out during construction / prior to occupation may be applicable prior to issue of the compliance certificate.

39. A written clearance from an electricity supply authority stating that electrical services are available to the site, or that arrangements have been entered into for the provision of services to the site, shall be obtained prior to work commencing.
40. A certificate from an approved telecommunications carrier certifying that satisfactory arrangements have been made for the provision of underground telephone services, to the site and to each dwelling, shall be obtained prior to work commencing.
41. Where the site is to be connected to reticulated gas, a certificate from an approved gas carrier to certify that satisfactory arrangements have been made to ensure the provision of underground gas services to each dwelling in the development shall be obtained prior to work commencing.

Stormwater Disposal

42. A detailed stormwater drainage plan(s), substantially in accordance with the approved concept stormwater drainage plan(s), shall be prepared and submitted to the Land and Housing Corporation. Any on-site detention system shall be designed in accordance with the relevant catchment authority's requirements (eg the Upper Parramatta River Catchment Trust On-site Detention Handbook) and/or Canterbury-Bankstown Council's drainage code.
43. Where a drainage easement is required, proof of lodgement of the plan of the drainage easement at the NSW Land Registry Services shall be submitted to the Land and Housing Corporation prior to commencement of works. Registration of the plan of easement shall be completed prior to occupation of the development and a copy of the registered plan shall be provided to the Land and Housing Corporation.

DURING DEMOLITION AND CONSTRUCTION WORKS

The following Identified Requirements are to be complied with whilst demolition and construction works are occurring on the site.

Landfill

44. Where site filling is necessary, a minimum of 95% standard compacting shall be achieved and certified by a NATA registered Soils Lab.
45. Land fill materials must satisfy the following requirements:
 - i. be Virgin Excavated Natural Matter (VENM);
 - ii. be free of slag, hazardous, contaminated, putrescible, toxic or radio-active matter; and
 - iii. be free of industrial waste and building debris.

Heritage

46. Historic and indigenous archaeological sites and relics are protected under the *Heritage Act 1977* and *National Parks and Wildlife Act 1974*, respectively. Should any relics be uncovered during the course of the approved works, work must cease immediately in the affected area. Subsequently, in cases where historical or indigenous items have been uncovered, the Department of Climate Change, Energy, the Environment and Water must be contacted.

47. All workers / contractors on the site shall be informed of their obligations, under the Heritage Act and *National Parks and Wildlife Act 1974*, that it is illegal to disturb, damage or destroy a relic without the prior approval of the Department of Climate Change, Energy, the Environment and Water.

Demolition

48. Any existing structures identified for demolition shall be demolished prior to commencement of the construction of the activity.
49. Demolition shall be carried out in accordance with the appropriate provisions of AS 2601.
50. Where materials containing asbestos are to be removed, demolition shall be carried out by a licensed contractor(s) who have current SafeWork NSW accreditation in asbestos removal.
51. Removal of asbestos-based thermal or acoustic insulation, such as sprayed asbestos and asbestos-based lagging, including friable asbestos boards, shall be carried out in accordance with the National Occupational Health and Safety Commission's Code of Practice for the Safe Removal of Asbestos, 2nd Edition [NOHSC:2002 (2005)].
52. Hazardous or intractable wastes, including all asbestos laden waste, arising from the demolition process shall be removed and disposed of in accordance with the requirements of SafeWork NSW and the Department of Climate Change, Energy, the Environment and Water.
53. Documentary evidence, in the form of tip receipts from an approved Waste Management Facility, shall be obtained by the demolition contractor and submitted to the Land and Housing Corporation demonstrating the appropriate disposal of the asbestos waste.
54. Demolition procedures shall maximise the reuse and recycling of demolished materials in order to reduce the environmental impacts of waste disposal.
55. During demolition, the public footpath and the public road shall not be obstructed by any vehicles. The public road and footpath shall be swept (not hosed) clean of any material, including clay, soil and sand.
56. All vehicles leaving the site with demolition materials shall have their loads covered and vehicles shall not track soil and other material onto the public roads and footpaths. The footpath shall be suitably protected against damage when plant and vehicles access the site. All loading of vehicles with demolished materials shall occur on site.

Survey Reports

57. Survey reports shall be submitted by the building contractor to the Land and Housing Corporation prior to the placement of the footings / slab and on completion of the dwellings to verify the correct position of the structures in relation to the allotment boundaries.

Hours of Demolition / Construction / Civil Work

58. Demolition / construction / civil work shall only occur on the site between the hours of 7.00am to 5.00pm Monday to Saturday with no work permitted on Sundays or public holidays.

Excavation & Backfilling

59. All excavations and backfilling associated with the demolition or erection of building(s) shall be executed safely and in accordance with appropriate professional standards. All such work shall be guarded and protected to prevent it from being dangerous to life or property.

Pollution Control

60. Any noise generated during the construction of the development shall not exceed the limits specified in the July 2009 Interim Construction Noise Guidelines, published by the former Department of Environment and Climate Change.
61. No fires shall be lit or waste materials burnt on the site.
62. No washing of concrete forms or trucks shall occur on the site.
63. Any contamination / spills on the site during construction works shall be actively managed and reported immediately to appropriate regulatory authorities to minimise any potential damage to the environment.
64. Dust generation during demolition / construction shall be controlled using regular control measures such as on site watering or damp cloth fences.
65. All vehicles transporting loose materials and travelling on public roads shall be secured (ie closed tail gate and covered) to minimise dust generation.
66. Non-recyclable waste and containers shall be regularly collected and disposed of at a licensed landfill or other disposal site in accordance with details set out in the final Waste Management Plan.

Impact of Construction Works

67. The Land and Housing Corporation shall bear the cost of any necessary adjustments to utility mains and services.
68. Care shall be taken to prevent any damage to adjoining properties. The building contractor shall be liable to pay compensation to any adjoining owner if, due to demolition/construction works, damage is caused to such adjoining property.

Termite Protection

69. To protect buildings from subterranean termite, termite barriers installed in accordance with AS 3660.1, shall be placed on the underside and in penetrations of the concrete slab floor.

In addition, a durable notice must be permanently fixed inside the meter box indicating:

- (a) the method of protection,
- (b) the date of installation of the system,
- (c) where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label, and
- (d) the need to maintain and inspect the system on a regular basis.

PRIOR TO OCCUPATION OF THE DEVELOPMENT

The following Identified Requirements are to be complied with prior to the occupation of the development.

General

70. The use or occupation of the development shall not commence until all the identified requirements of this determination have been complied with.

Council Infrastructure Damage

71. The cost of repairing any damage caused to Canterbury-Bankstown Council's assets in the vicinity of the site as a result of demolition / construction works shall be met in full by the building contractor.

Stormwater Drainage

72. Prior to occupation, a Work As Executed Plan shall be prepared by the building contractor clearly showing all aspects of the constructed stormwater drainage system, including any on-site detention system. The plan shall demonstrate general compliance with the approved concept stormwater drainage plan(s) and shall include:
- sufficient levels and dimensions to verify the constructed storage volumes; and
 - location and surface levels of all pits; and
 - invert levels of the internal drainage lines, orifice plates fitted and levels within the outlet control pits; and
 - finished floor levels of all structures; and
 - verification that any required trash screens have been installed; and
 - locations and levels of any overland flow paths; and
 - verification that any drainage lines are located wholly within easements, where applicable.

The Work-As-Executed Plan information shall be shown on the final civil works drawings.

A positive covenant and restriction-as-to-user shall be placed over the onsite detention system in accordance with Canterbury-Bankstown Council's on-site detention policy to ensure that the system will be adequately maintained. The positive covenant and restriction-as-to-user shall be registered at NSW Land Registry Services prior to occupation. A copy of the registered restriction-as-to-user shall be provided to the NSW Land and Housing Corporation and Canterbury-Bankstown Council.

PART B – Additional Identified Requirements

Specific Requirements for Seniors Housing

73. The independent living units shall comply with the accessibility and useability standards referenced in section 85 and set out in Schedule 4 of *State Environmental Planning Policy (Housing) 2021*.

Note:

This requirement does not apply to the provisions set out under sections 2, 5-13 and 15-21 of Schedule 4 for an independent living unit, or part of such a unit, that is located above the ground floor.

74. Only the following kinds of people shall be accommodated in the approved development:

- (a) seniors or people who have a disability; or
- (b) people who live within the same household with seniors or people who have a disability; or
- (c) staff employed to assist in the administration and provision of services to the seniors housing development.

Note:

It should be noted that ‘seniors’, as defined in the Housing SEPP, are any of the following:

- (a) people aged 60 or more years,
- (b) people who are resident at a facility at which residential care (within the meaning of the Aged Care Act 1997 of the Commonwealth) is provided, and
- (c) people who have been assessed as being eligible to occupy housing for aged persons provided by a social housing provider.

A restriction as to user shall be registered against the title of the property, prior to occupation, in accordance with Section 88E of the Conveyancing Act 1919 limiting the use of any accommodation to the kinds of people referred to above and that the dwellings cannot be subdivided.

75. Pathway lighting shall be designed to provide a minimum of 20 lux at ground level and be located to avoid glare for pedestrians and adjacent dwellings.
76. Access to, and within, the site shall be provided in accordance with AS 1428.1 so that a person using a wheelchair can use common areas and common facilities associated with the activity.
77. The concrete footpath that connects the site to the bus stops on Ferndale Road shall be upgraded in accordance with the recommendations of the approved Access Report such that it provides an accessible pathway in accordance with s93(4) of the Housing SEPP 2021). Footpath works are to be undertaken in accordance with the relevant specifications of Canterbury-Bankstown Council.

Note:

The responsible officer at the Canterbury-Bankstown Council shall be contacted regarding council’s specifications and any necessary approvals.

78. Entry doors to units shall be provided with door viewers to enable residents to view approaches to their units without the need to open the door.

Site Specific Requirements

79. Air Conditioning

Design and Installation

Any air conditioning unit installed on the premises must be designed, specified and installed to ensure that they comply with the requirements of the *Protection of the Environment Operations (Noise Control) Regulations 2017* and must not emit a noise that exceeds 5dB(A) above the ambient background noise level measured at any property boundary. Acoustic treatment may be required to ensure this is achieved.

Certification, from an appropriately qualified acoustic consultant, shall be provided at construction documentation stage that the air conditioning units can comply with this requirement.

Further certification, from an appropriately qualified acoustic consultant, shall be provided prior to occupation that the installed air conditioning units comply with this requirement.

On-Going

The use of any air-conditioning unit must comply with the requirements of the *Protection of the Environment Operations (Noise Control) Regulations 2017* and must not:

- (a) emit a noise that is audible within a habitable room in any adjoining residence (regardless of whether any door or window to that room is open);
 - (i) before 8.00 am and after 10.00 pm on any Saturday, Sunday or Public Holiday; or
 - (ii) before 7.00 am or after 10.00 pm on any other day;
- (b) emit a noise that exceeds 5dB(A) above the ambient background noise level measured at any property boundary.

80. Solar (photovoltaic electricity generating) Energy System

Where a solar energy system is proposed it must satisfy the following requirements:

- (a) the system is installed in accordance with the manufacturer's specifications or by a person who is accredited by the Clean Energy Council for the installation of photovoltaic electricity generating systems, and
- (b) the solar energy system must not reduce the structural integrity of any building to which the system is attached, and
- (c) the system must not involve mirrors or lenses to reflect or concentrate sunlight, and
- (d) the system must not protrude more than 0.5m from the wall or roof (as measured from the point of attachment), and
- (e) the system is installed no less than 3m from any adjoining property boundary.

Certification from an appropriately person shall be provided at construction documentation stage that the solar energy system/s are capable of complying with this requirement.

Further certification, from an appropriately qualified person shall be provided prior to occupation that the installed solar energy system/s comply with this requirement.

81. Boundary Fencing

Boundary fencing along the eastern and western side boundaries, forward of the approved building line, shall be tapered to a height of 1.2m at the site frontage, and designed to comply with vehicular sightlines in accordance with AS2890.1.

- 82. The front fences for ground floor patios facing the street shall be limited to a maximum height of 1650mm from the finished floor level. Consider lowering the hot

water unit plinths closer to the natural ground level to fully conceal the hot water units behind the fences.

Fences for Units 7, 8 and 9 shall be lowered to a height of 1500mm from the finished floor level of the patio, and the height of the hot water unit fencing between units 8 and 9 can be made to match these heights.

Requirements Resulting from Council Comments

83. The construction documentation plans shall demonstrate that the bin carting route from the communal bin storage room to the waste collection point identified on stamped plans complies with the following requirements:
- is direct and less than 10 metres (m) in length,
 - has a minimum width of 2m of hard surface,
 - is of non-slip material and free from obstacles and steps,
 - is not located within a driveway or carpark,
 - has a maximum grade of 1:30 (3%),
 - has a kerbside ramp installed at the collection point, and
 - has compliance with Work, Health and Safety legislation and standards.

In addition to the above, requirements outlined in Council's 'Waste Management Guide for New Developments' must also be complied with to ensure orderly collection of waste from the site.

84. The construction documentation plans shall demonstrate that the communal bin storage room complies with the following requirements:
- Floors must be constructed of concrete at least 75 millimetres (mm) thick and graded and drained to a Sydney Water approved drainage fitting.
 - Floors must be finished to be non-slip with a smooth and even surface.
 - A designated room or enclosure with a roof, with a minimum 2.1m unobstructed room height.
 - Must be compatible with the overall design of the development.
 - Walls must be constructed of solid impervious material.
 - Ceilings must be finished with a smooth faced non-absorbent material capable of being cleaned.
 - Walls, ceiling and floors must be finished in a light colour.
 - An adequate supply of hot and cold water mixed through a centralised mixing valve with hose cock is to service the room.
 - A self-closing door openable from within the room.
 - Must be constructed to prevent the entry of birds and vermin.
 - Be provided with adequate light and ventilation. The light source must be through controlled light switches located both outside and inside.
 - Any doorways must be 2m wide and open outwards.
 - Be designed to fit the following bin allocations:

<i>Number</i>	<i>Bin Size</i>	<i>Bin Type</i>
3	1,100L	Garbage (Red)
4	1,100L	Recycling (Yellow)
2	240L	Garden (Green)

In addition to the above, requirements outlined in Council's 'Waste Management Guide for New Developments' must also be complied with to protect and enhance the amenity of the future occupants and occupants of adjoining sites.

85. The construction documentation plans shall demonstrate that the bulky waste storage room that comply with the following requirements:
- To be a caged or well separated space within the waste room.
 - To be designed to a minimum size of 4 square metres (m²).
 - Any doorways must be 2m wide and open outwards.
86. Prior to the commencement of work, the Landscape Plan shall be updated to show the removal of Tree 7, and replacement of this tree and all proposed *Brachychiton acerfolium* (Flame Trees) and *Melaleuca decora* (Paperbark) in the front setback with suitable canopy trees capable of reaching a mature height of at least 10-15m, such as *Corymbia maculata* (Spotted Gum).
87. Prior to the commencement of any work, a detailed root mapping investigation using non-destructive methodology such as air spade or hand digging, is required within the Tree Protection Zone (TPZ) of Tree 15. The root mapping shall determine and document the number and extent of roots that would be impacted by the proposed development. The design and construction of the stormwater infrastructure shall then be refined in consultation with the Project Arborist to ensure impacts to Tree 15 are mitigated to a sustainable level. The results of the root mapping investigation shall be provided to the Land and Housing Corporation. In the event that Tree 15 is required to be removed to facilitate the proposed works, a suitable replacement canopy tree as recommended by the landscape architect is to be planted within the front setback to offset its loss.
88. Excavation required for construction of the pathway and installation of the stormwater infrastructure within the TPZs of Tree 11, 16, 17 & 18 must be undertaken in a root sensitive manner to ensure roots are maintained and un-damaged. Excavation should be undertaken using non-motorised hand tools under supervision of the Project Arborist in accordance with Appendix 5 of the Arboricultural Impact Assessment. Should significant roots be identified (>25mm \varnothing) during construction, works are to cease, and direction sought from the Project Arborist with regards to root pruning, modification of construction methodology or design alteration.
89. Before the commencement of any construction works, a Construction Site Management Plan (CSMP) must be prepared. The plan must include the following matters:
- The location and materials for protective fencing and hoardings on the perimeter of the site.
 - Provisions for public safety.
 - Pedestrian and vehicular site access points and construction activity zones.
 - Details of construction traffic management including:
 - proposed truck movements to and from the site;
 - estimated frequency of truck movements; and
 - Measures to ensure pedestrian safety near the site.
 - Details of bulk earthworks to be carried out.
 - The location of site storage areas and sheds.
 - The equipment used to carry out works.
 - The location of a garbage container with a tight-fitting lid.
 - Dust, noise and vibration control measures.
 - The location of temporary toilets.
 - The protective measures for the preservation of trees on-site and in adjoining public areas including measures in accordance with:
 - AS 4970 – Protection of trees on development sites.

- ii. The Arboricultural Impact Assessment approved as part of this Activity Determination.

A copy of the construction site management plan shall be sent to Council for their records and must be kept on-site at all times while work is being carried out.

90. If required and to facilitate construction works, a Works Zone may be considered to be installed across the site frontage in Lochinvar Street, subject to the approval of the Canterbury Bankstown Council's Traffic Committee.

ADVISORY NOTES

- i. Approval of this development activity does not imply or infer compliance with Section 23 of the *Disability Discrimination Act 1992*. Refer to AS 1428.1 and the Building Code of Australia for detailed guidance.
- ii. Information regarding the location of underground services may be obtained from Dial Before You Dig at www.1100.com.au or by dialing 1100.

DA ISSUE ONLY

SENIORS HOUSING DEVELOPMENT

LOTS 52, 53, 54 & 55 IN DP 36467

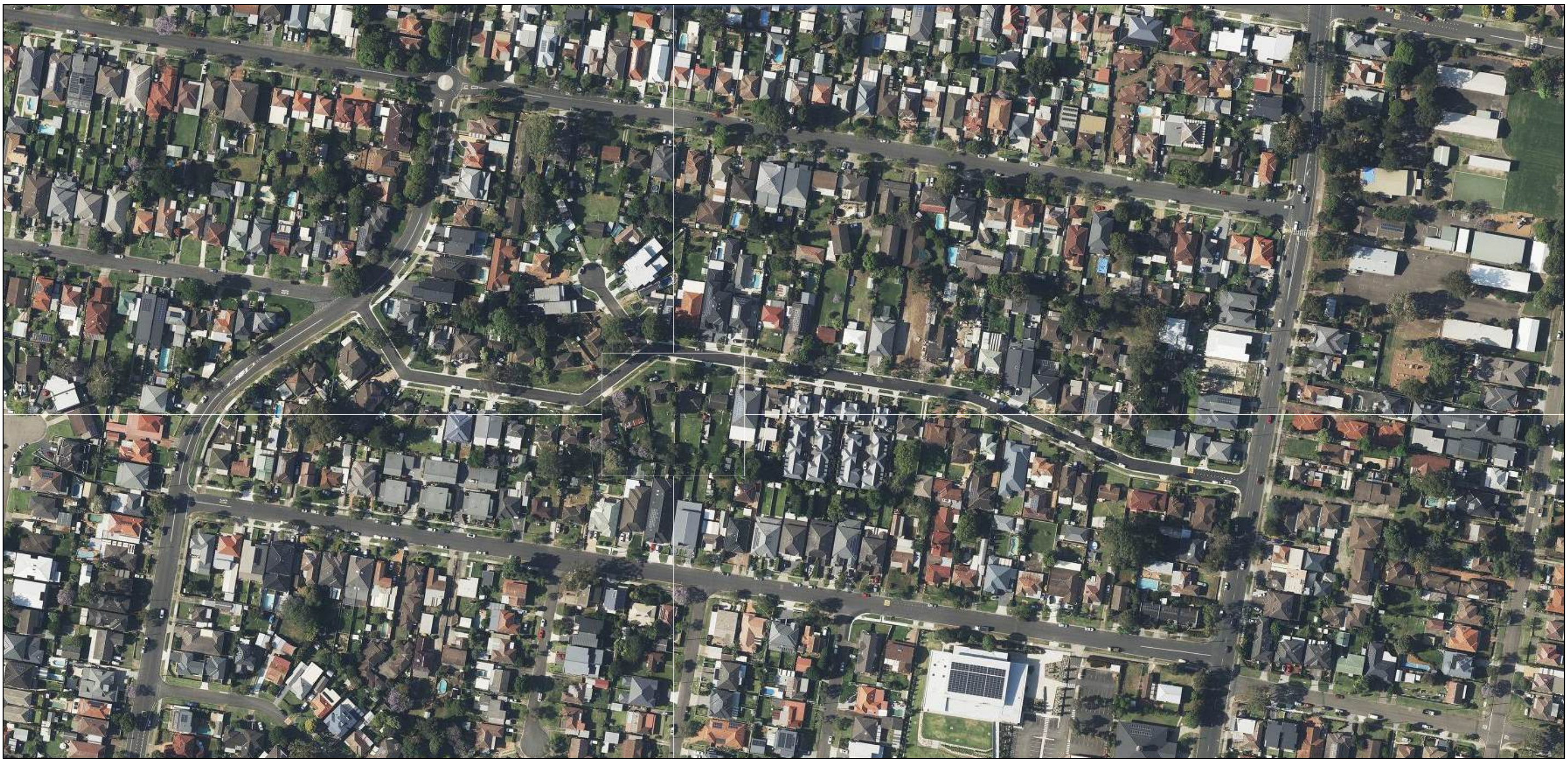
29 - 35 LOCHINVAR ROAD REVESBY NSW 2212

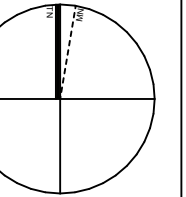
DRAWING SCHEDULE:

ARCHITECTURAL				CIVIL			
Type	Sheet No.	Rev		Type	Sheet No.	Rev	
COVER SHEET	A	01 of 18	B	SPECIFICATIONS SHEET	SW	1 of 17	B
BLOCK ANALYSIS PLAN	A	02 of 18	B	OVERALL SITE DRAINAGE PLAN	SW	2 of 17	B
SITE ANALYSIS PLAN	A	03 of 18	B	OSD CATCHMENT AREA	SW	3 of 17	B
DEMOLITION PLAN	A	04 of 18	B	DRAINAGE PLAN - SHEET 1	SW	4 of 17	B
DEVELOPMENT DATA	A	05 of 18	B	DRAINAGE PLAN - SHEET 2	SW	5 of 17	B
SITE PLAN	A	06 of 18	B	DRAINAGE PLAN - SHEET 3	SW	6 of 17	B
GROUND FLOOR PLAN	A	07 of 18	B	DRAINAGE PLAN - SHEET 4	SW	7 of 17	B
FIRST FLOOR PLAN	A	08 of 18	B	DRAINAGE PLAN - SHEET 5	SW	8 of 17	B
ROOF PLAN	A	09 of 18	B	OSD/RAINWATER TANK BASE PLAN	SW	9 of 17	B
ELEVATIONS	A	10 of 18	B	OSD/RAINWATER SECTIONS & STORMWATER DETAILS	SW	10 of 17	B
ELEVATIONS	A	11 of 18	B	STORMWATER DETAILS	SW	11 of 17	B
SECTIONS	A	12 of 18	B	SEDIMENT CONTROL PLAN - SHEET 1	SW	12 of 17	B
SECTIONS	A	13 of 18	B	SEDIMENT CONTROL PLAN - SHEET 2	SW	13 of 17	B
SHADOW DIAGRAMS	A	14 of 18	B	SEDIMENT CONTROL PLAN - SHEET 3	SW	14 of 17	B
VIEW FROM SUN DIAGRAMS	A	15 of 18	B	SEDIMNET CONTROL PLAN - SHEET 4	SW	15 of 17	B
VIEW FROM SUN DIAGRAMS	A	16 of 18	B	SEDIMENT CONTROL PLAN - SHEET 5	SW	16 of 17	B
PERSPECTIVES	A	17 of 18	B	SEDIMENT & EROSION CONTROL DETAILS	SW	17 of 17	B
PERSPECTIVES	A	18 of 18	B	CUT AND FILL PLAN	C	1 of 1	A
SURVEY				HYDRAULIC			
Type	Sheet No.	Rev		Type	Sheet No.	Rev	
DETAIL AND LEVEL SURVEY LOTS 52, 53, 54 & 55 IN DP 36467	S	1 of 1	-	HYDRAULIC SERVICES PLAN LEGEND & NOTES	H	1 of 6	G
FOOTPATH GRADIENT	S	1 of 1	-	HYDRAULIC SERVICES PLAN SITE / GROUND FLOOR PLAN DRAINAGE	H	2 of 6	G
LEVEL SURVEY ALONG PROPOSED LINE OF EASEMENT LOTS 52, 53, 54 & 55 IN DP 36467	S	1 of 1	-	HYDRAULIC SERVICES PLAN FIRST FLOOR PLAN DRAINAGE	H	3 of 6	G
LANDSCAPE				HYDRAULIC SERVICES PLAN ROOF PLAN DRAINAGE	H	4 of 6	G
Type	Sheet No.	Rev		HYDRAULIC SERVICES PLAN GROUND FLOOR PLAN FIRE HYDRANT SERVICES	H	5 of 6	G
LANDSCAPE PLAN	L	1 of 1	D	HYDRAULIC SERVICES PLAN FIRST FLOOR PLAN FIRE HYDRANT SERVICES	H	6 of 6	G



LOCATION PLAN:







TYPICAL 2 STOREY DUPLEX DWELLING



**PROPOSED SITE FOR NEW
- SENIORS HOUSING DEVELOPMENT
OWNED BY HOMES NSW**



-  PROPOSED DEVELOPMENT
OWNED BY HOMES NSW
-  BOUNDARY LINE TO
LOTS OWNED BY OTHERS

NOTE:
THERE IS NO TYPICAL LOT SIZE OR SHAPE IN
THE VICINITY OF THE NEW DEVELOPMENT.



**EXISTING 2 STOREY MULTI
UNIT DEVELOPMENT**



**EXISTING 2 STOREY MULTI
UNIT DEVELOPMENT**



TYPICAL SINGLE STOREY DWELLING



**EXISTING 2 STOREY MULTI
UNIT DEVELOPMENT**

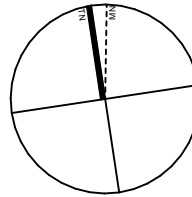


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SCALE FOR PRINTING

PURPOSE ONLY

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- IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL STRUCTURAL ELEMENTS TO SUIT.
- THE DESIGN & DETAILS CONTAINED ON THIS DRAWING IS SUPPLIED IN CONFIDENCE & IS NOT TO BE USED FOR ANY OTHER PURPOSE, EXCEPT THAT AUTHORISED BY DTAARCHITECTS



SITE ANALYSIS LEGEND	
---	BOUNDARY
	EXISTING BUILDINGS
	PROPOSED SITE
	NEIGHBOURING PRIVATE OPEN SPACE
	PROBABLE MAXIMUM FLOOD EXTENT
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE REMOVED
	OVERLOOKING
	EXISTING CONTOURS
	ACCESS TO SITE
	VIEWS
	NOISE SOURCE
	NUMBER OF STOREYS
	OVERHEAD POWER LINE
	UNDERGROUND SEWER MAIN
	UNDERGROUND GAS MAIN
	UNDERGROUND WATER MAIN
	UNDERGROUND TELSTRA

01

SITE ANALYSIS PLAN
1:200



LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE No 1800 738 718
www.dpie.nsw.gov.au/land-and-housing-corporation



NOMINATED ARCHITECTS:

Daniel Donal
NSW ARB No. 9068

REV	DATE	NOTATION/AMENDMENT
B	10/02/2025	Updated to Council Comments
A	07/02/2024	Part 5 Application
REV	DATE	NOTATION/AMENDMENT
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

ARCHITECT
DTA Architects Pty Ltd
PH (02) 9601 1011
PROJECT MANAGER
HOMES NSW
PHONE No 1800 738 718
STRUCTURAL / CIVIL
MSL Consulting Engineers Pty Ltd
PH (02) 4298 5247

HYDRAULIC
Abel & Brown Pty Ltd
PH (02) 9709 5705
ELECTRICAL / BASIX CONSULTANT
Greenview Consulting Pty Ltd
PH (02) 9544 1803
LANDSCAPE CONSULTANT
Ray Fuggle & Associates Pty Ltd
PH 0412 294 712



BUSINESS PARTNER:



PROJECT:
SENIORS HOUSING DEVELOPMENT
at
LOTS 52, 53, 54 & 55 IN DP 36467
29-35 LOCHINVAR ROAD REVESBY
NSW 2212

TITLE:
SITE ANALYSIS PLAN

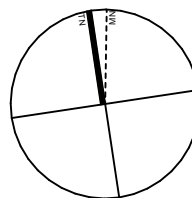
STATUS: DEVELOPMENT ASSESSMENT			
DATE: 19/02/2025	SCALE: As shown @ A1	PROJ: BH27J	JOB: 2023.025
STAGE: C	DRAWN: SD	CHECKED: DD	CERTIFIER: DD
FILE: CAD File: S:\Data\3\2023\2023.025 LAHC SH Lochinvar St Revesby\3 Design\3.2 DA\2023.025 LAHC SH Lochinvar St Revesby DA - FRSB.pdf	PLOTTED: 19/02/2025 9:28 AM	TYPE: A	SHEET: 3 of 18
		REV: B	

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LEGEND - DEMOLITION

--- EXTENT OF SITE BOUNDARY

EXISTING STRUCTURES TO BE DEMOLISHED.
REPAIR & REINSTATE ADJOINING SURFACES.

EXISTING SITE WORKS TO BE REMOVED /
DEMOLISHED

EXISTING TREES TO REMAIN. REFER ALSO TO
LANDSCAPE DRAWING.

EXISTING TREES TO BE REMOVED. REFER ALSO TO
LANDSCAPE DRAWING.

+ 88.00 EXISTING LEVELS

PERFORM ALL THE DEMOLITION AS SHOWN ON THE DRAWING
AND/OR AS NECESSARY REQUIRED CARRYING OUT THE WORKS
UNDER THE CONTRACT.

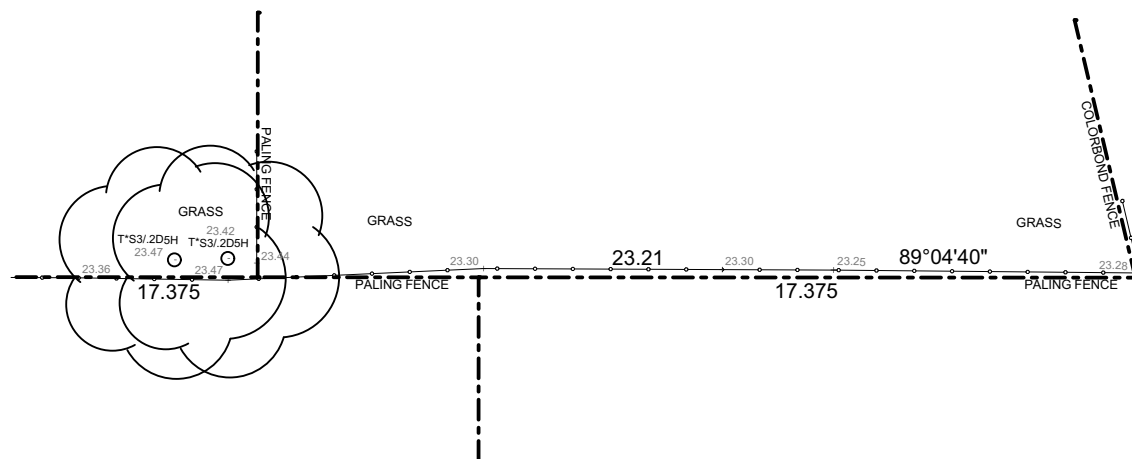
NB: CARE MUST BE TAKEN WHILE CARRING OUT THE WORKS.

PROTECT EXISTING PROPERTY FROM DAMAGE BY APPROPRIATE
MEANS INCLUDING SHORING, STRUTTING, PROTECTIVE
SCREENS, SHEETING AND THE LIKE.

REPAIR & REINSTATE ANY SUCH DAMAGE TO MATCH EXISTING.

EXISTING SERVICES: DEAL AS APPROPRIATE WITH EXISTING
SERVICES INCLUDED IN OR ENCOUNTERED DURING THE
COURSE OF THE DEMOLITIONS.

BEFORE DEMOLISHING AND REMOVING PARTS OF BUILDING
HAVING ELECTRICAL WIRING, GAS, SEWER AND WATER PIPES,
CONDUIT OR SIMILAR ITEMS EMBEDDED IN THEM, NOTIFY THE
PROJECT MANAGER SUPERINTENDENT, AUTHORITIES HAVING
JURISDICTION, AND MAKE SURE THAT THESE ITEMS ARE OUT OF
SERVICE SO THAT THEY CAN BE REMOVED WITHOUT DANGER.



DEMOLITION PLAN 1:200

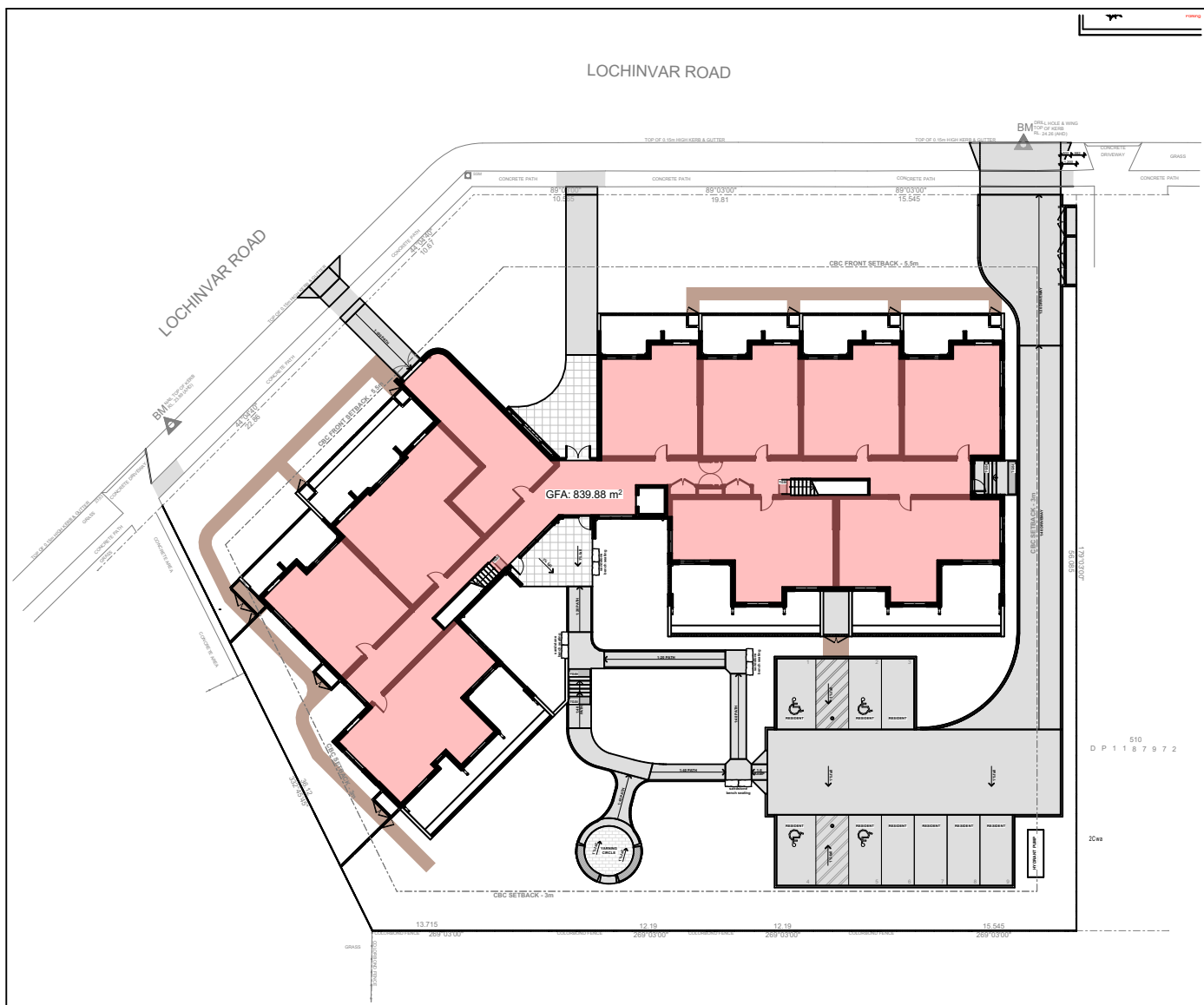
	LOCKED BAG 5022 PARRAMATTA NSW 2124 PHONE No 1800 738 718 www.dpie.nsw.gov.au/land-and-housing-corporation		<div>NOMINATED ARCHITECTS:</div> <div><div></div><div>Daniel Donal NSW ARB No.9068</div></div> <div><div></div><div>Member Architects members of the ARB</div></div>	<table><tr><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td><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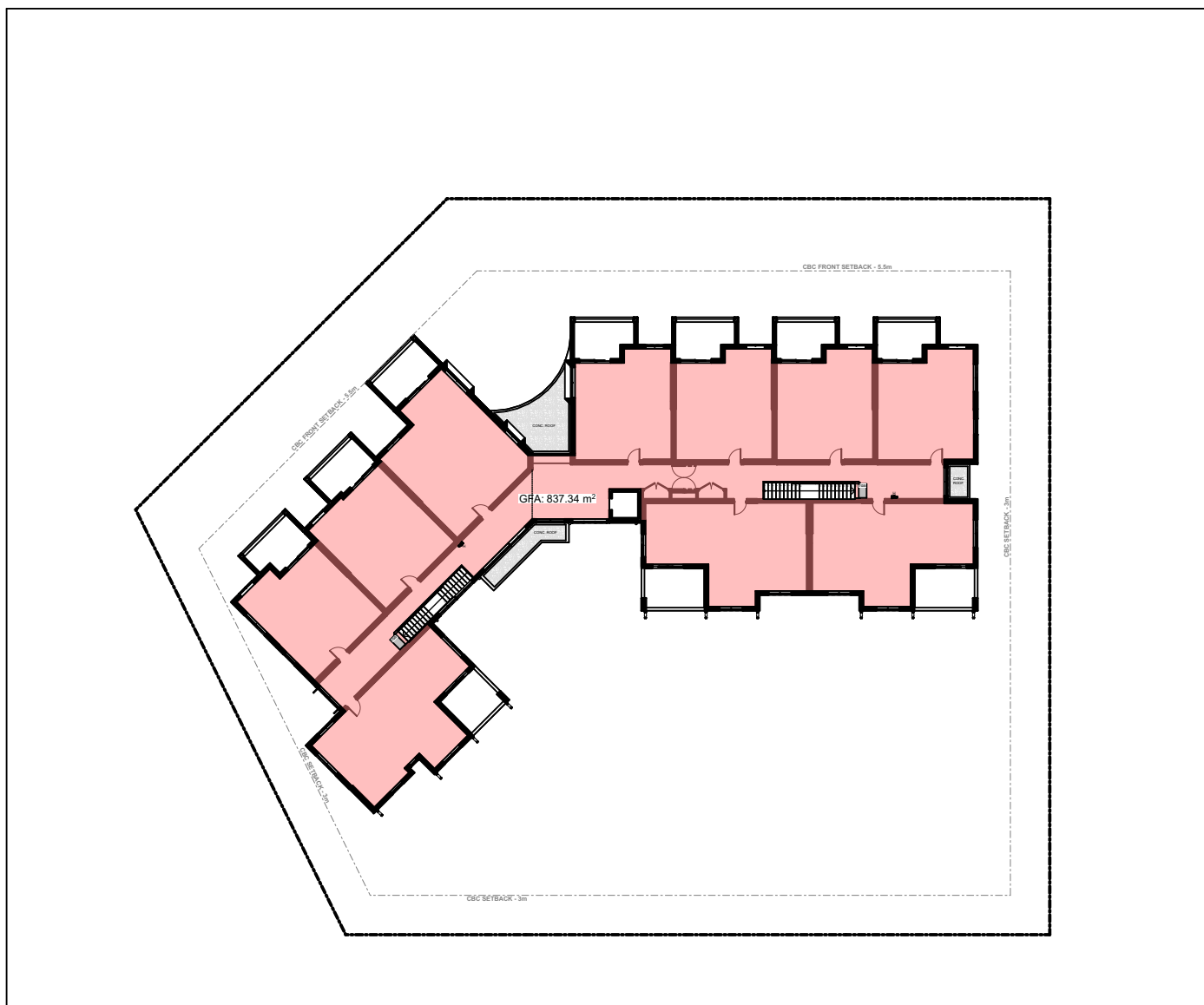
SCALE FOR PRINTING

PURPOSE ONLY

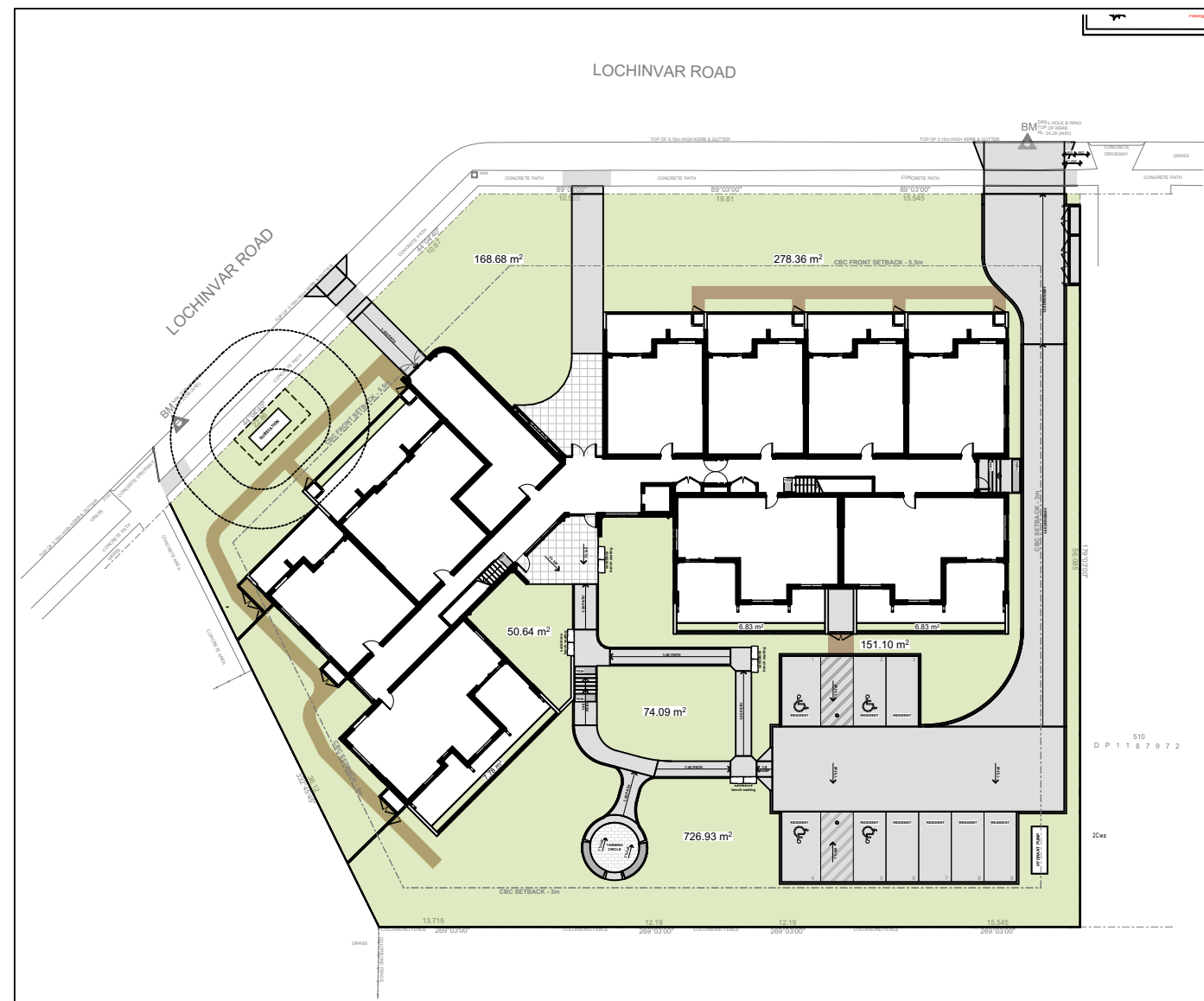
- DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
- BUILDER TO CHECK & VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK.
- IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL STRUCTURAL ELEMENTS TO SUIT.
- THE DESIGN & DETAILS CONTAINED ON THIS DRAWING IS SUPPLIED IN CONFIDENCE & IS NOT TO BE USED FOR ANY OTHER PURPOSE, EXCEPT THAT AUTHORISED BY DTAARCHITECTS



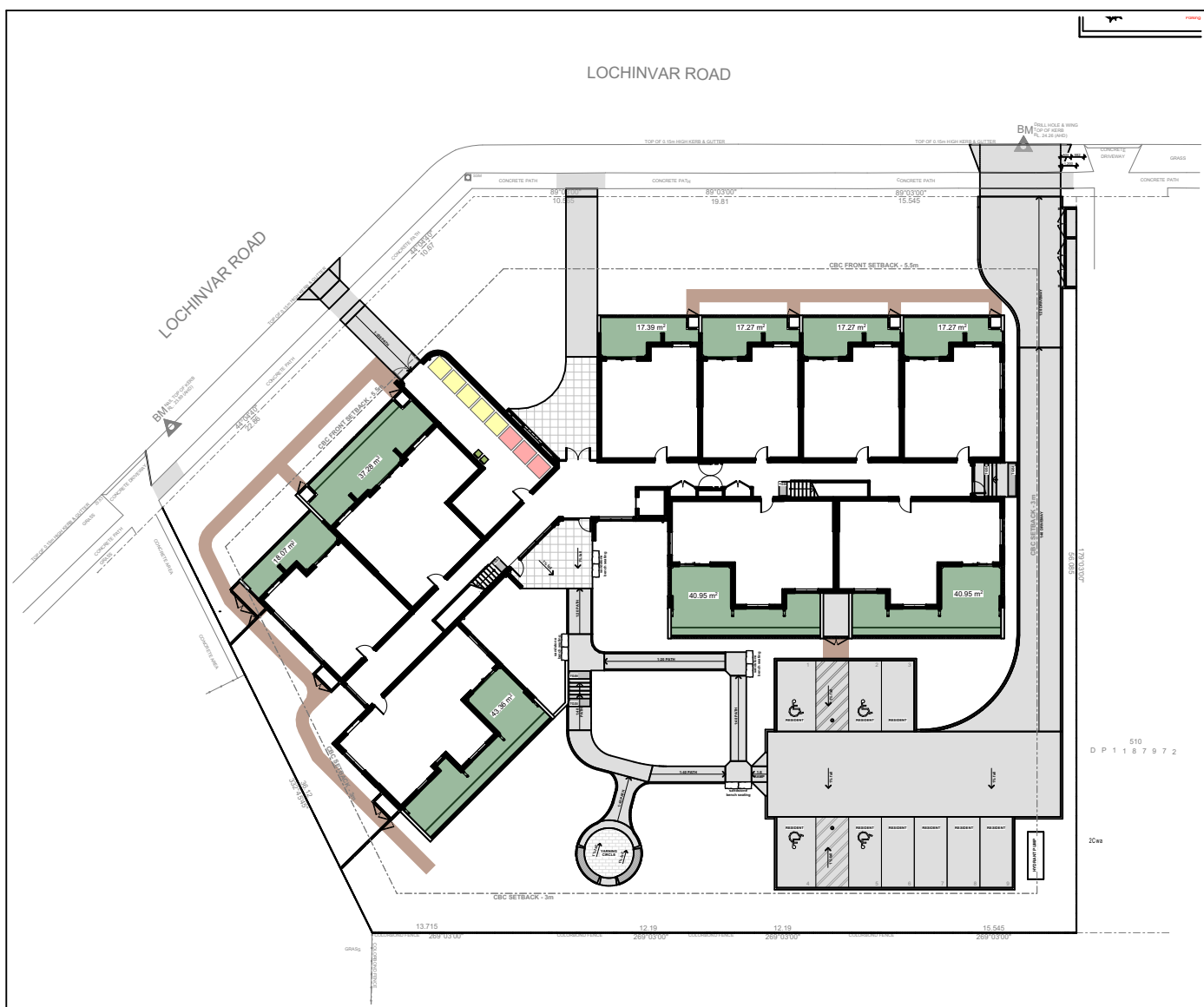
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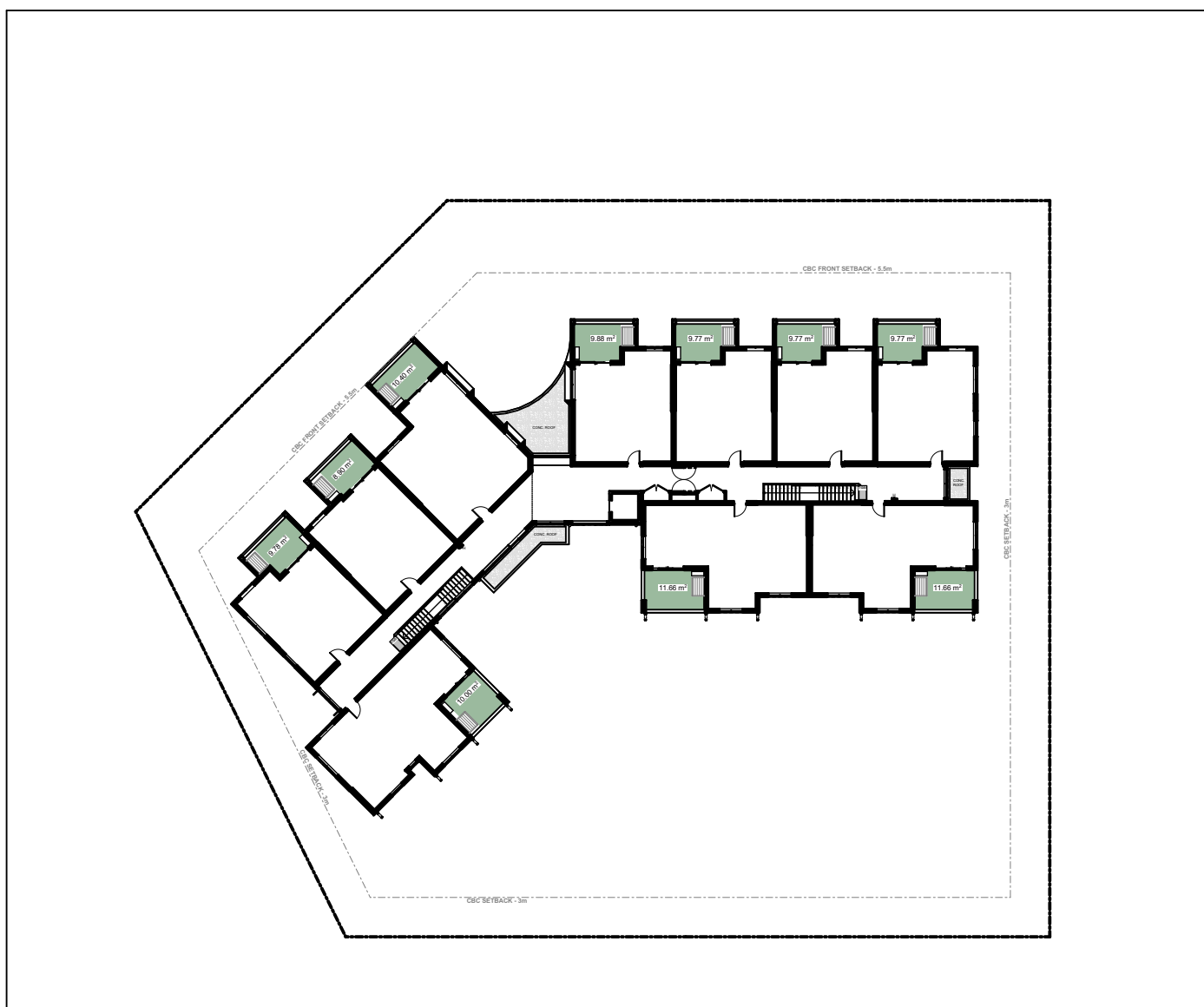
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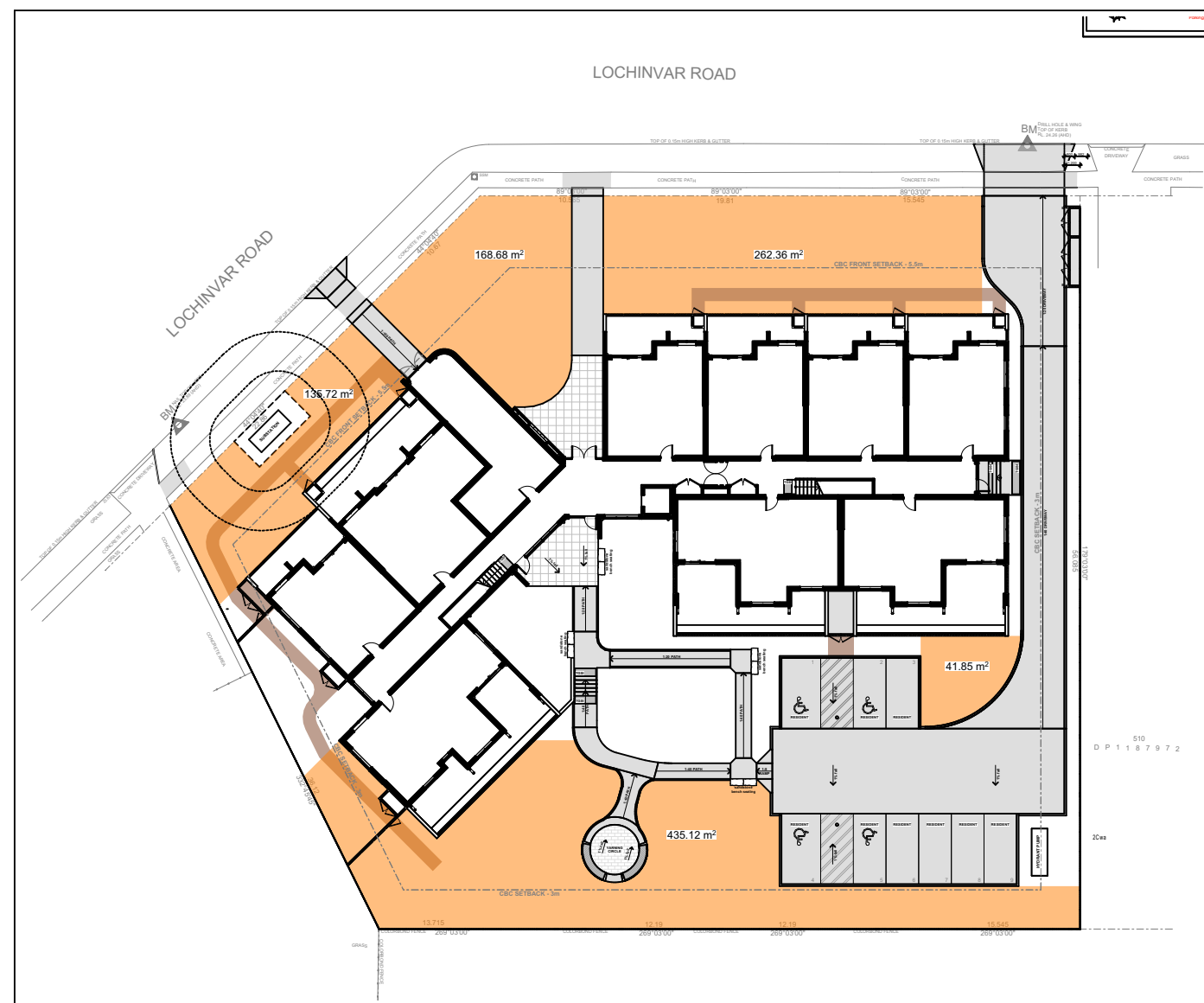
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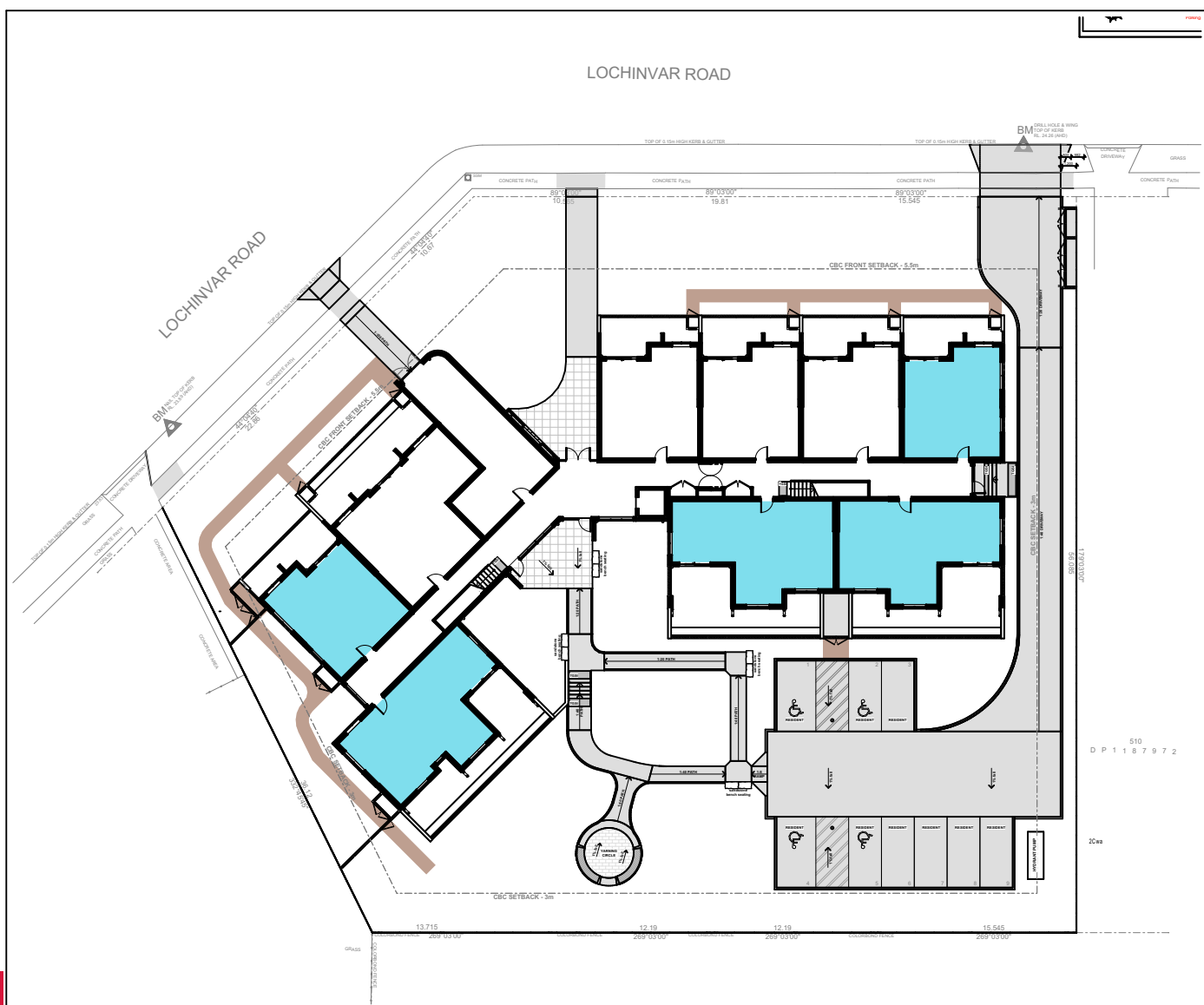
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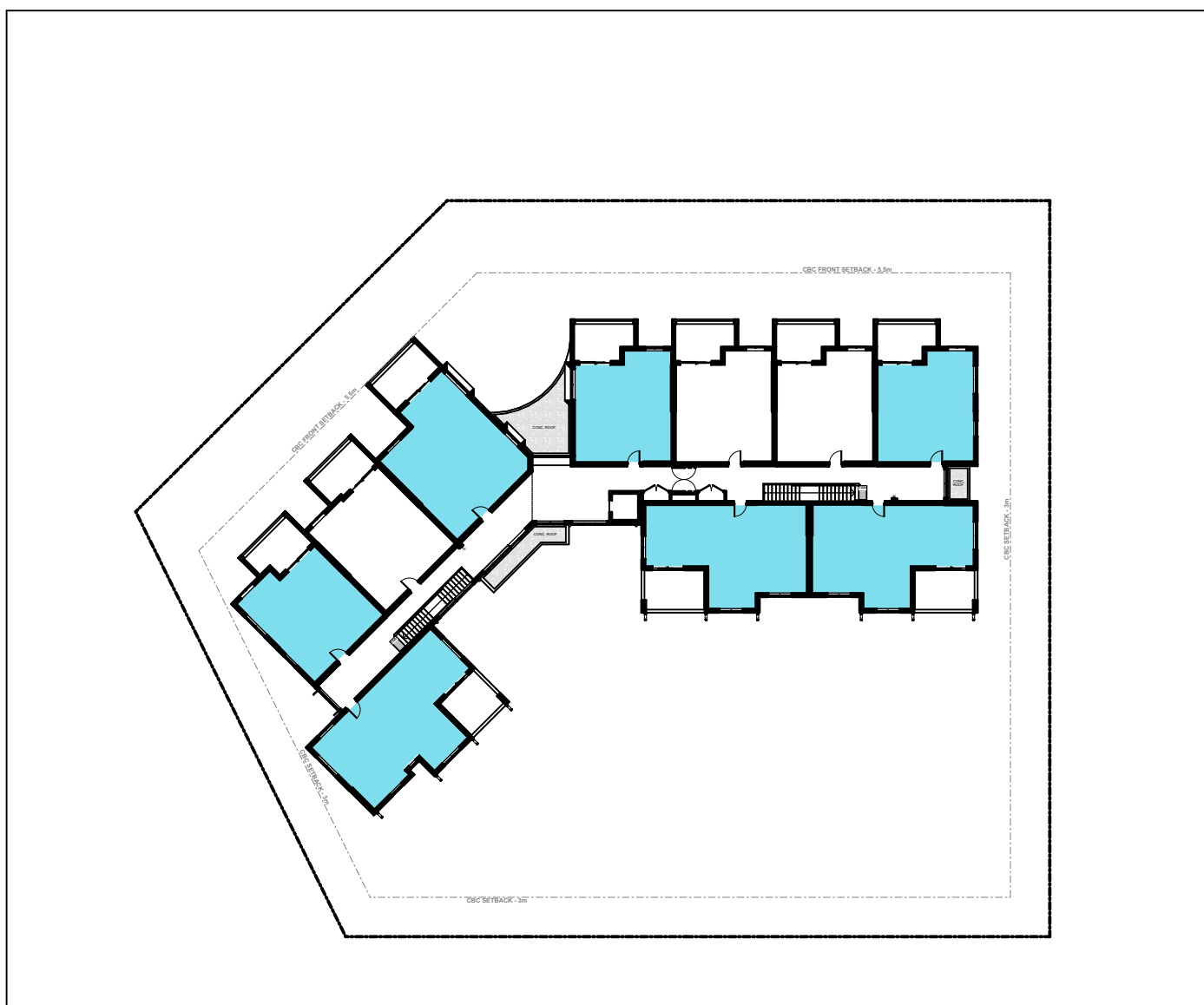
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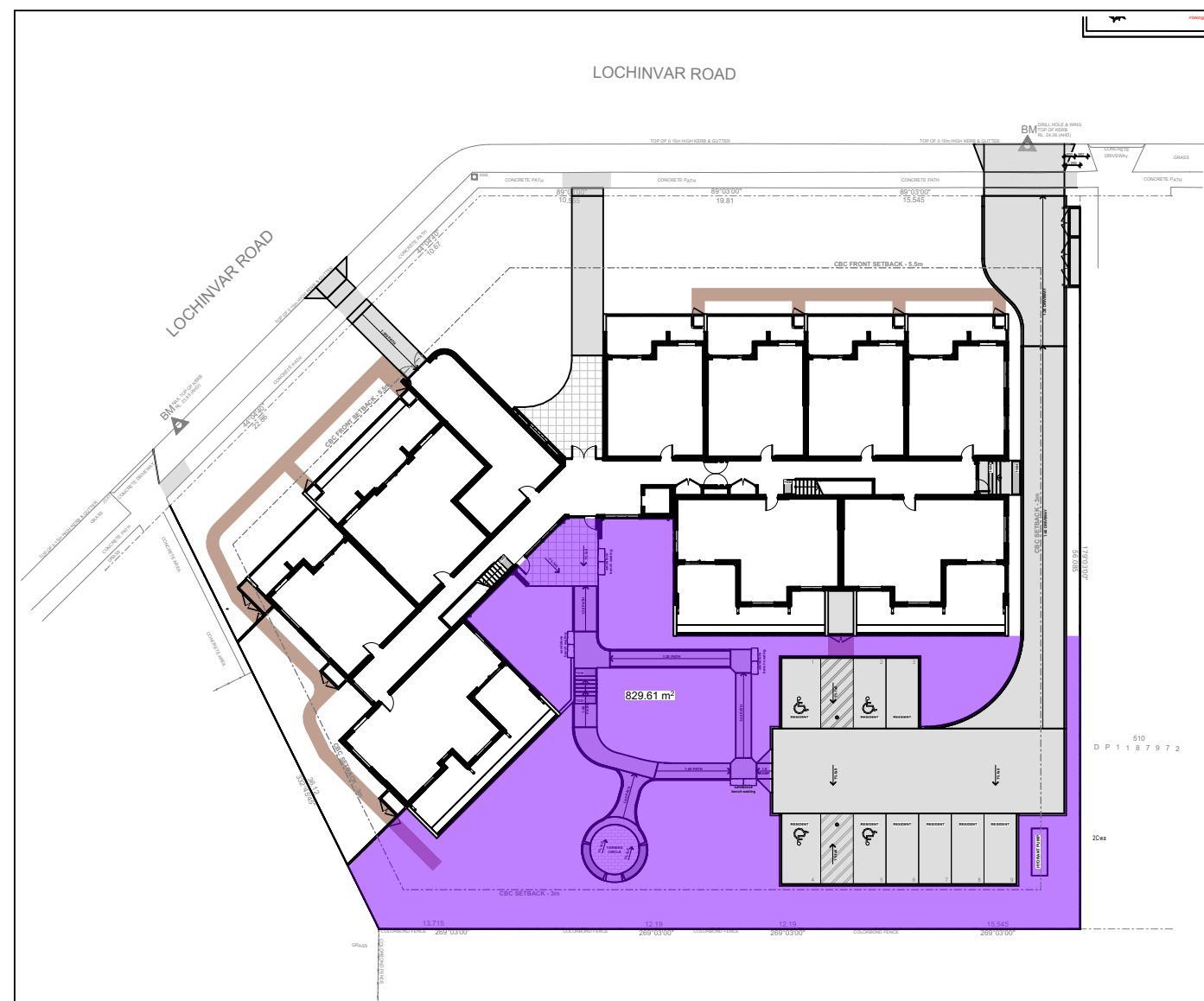
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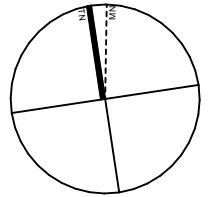
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08
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09
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DEVELOPMENT DATA- COS
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DEVELOPMENT DATA: SENIORS HOUSING - MULTI DWELLING HOUSING

Job Reference	BH27J
Locality / Suburb	Revesby
Street Address	29-35 Lochinvar Road
Lot No. & DP	Lot 52, 53, 54 & 55 in DP 36467

Site Area	3,365.50m2
GFA Maximum CBLEP / Housing SEPP Cl.17	1,682.75m2
GFA Provided	1,677.22m2

Total 1 Bed Units	11	60%
Total 2 Bed Units	8	40%
Total Number of Units	19	

	Control	Permitted / Required	Proposed	Complies
Setbacks				
Front	CBDP 2023 – Cl.7.3	5.5m	5.5m (Lochinvar Road)	Yes
Side	CBDP 2023 – Cl.7.4	0.9m	5.5m (East) 3.51 (West)	Yes
Rear	CBDP 2023	n/a	9.24m	Yes
Height	CBLEP2023 – Cl.4.3 Housing SEPP 2021 – Cl.108B	9m 9.5m	8.3m	Yes
FSR	CBLEP 2023 – Cl.4.4 Housing SEPP 2021	0.5:1 MAX – 1,682.75m2 0.5:1 MAX – 1,682.75m2	1677.22m2 (0.50:1)	Yes
Landscaped Area	Housing SEPP 2021 – Cl.108	35m2 per dwelling (665m2)	1471.24m2	Yes
Deep Soil Zone	Housing SEPP 2021 – Cl.108	15% of site area (504.82m2) If practicable, 65% of deep soil to rear (328.13m2)	1043.73m2 (31%) 476.97	Yes Yes
Solar Access	Housing SEPP 2021 – Cl.108	70% of dwellings to receive min. 2 hours of direct solar access to living rooms & POS (13.3 units)	14 units (72%)	Yes
Car Parking	Housing SEPP 2021 – Cl.108 Housing SEPP 2021 – Cl.19	1 per 5 dwellings (4 spaces) 1 bed - 0.4 spaces: 11 x 0.4 = 4.4 2 bed - 0.5 spaces: 8 x 0.5 = 4 Total: 8.4	9 5 4 9	Yes Yes
Natural Ventilation	ADG – 4B	60% of apartments are naturally cross ventilated (11.4 Units)	13 units (68%)	Yes
Communal Open Space	ADG – 3D	25% of site area (841.37m2)	829.61m2 (24.6%)	Yes

UNIT				
Name	Level	Number of bedrooms	Internal Area (m2)	POS (m2)
GF:U1	Ground Floor	1	57.95	17.27
GF:U2	Ground Floor	1	57.90	17.27
GF:U3	Ground Floor	1	57.90	17.27
GF:U4	Ground Floor	1	57.62	17.39
GF:U5	Ground Floor	2	77.45	37.28
GF:U6	Ground Floor	1	57.90	18.07
GF:U7	Ground Floor	2	79.43	43.36
GF:U8	Ground Floor	2	76.21	40.95
GF:U9	Ground Floor	2	76.21	40.95
L1:U10	Level 01	1	58.01	9.77*
L1:U11	Level 01	1	57.95	9.77*
L1:U12	Level 01	1	57.95	9.77*
L1:U13	Level 01	1	57.59	9.88*
L1:U14	Level 01	2	76.78	10.40*
L1:U15	Level 01	1	61.08	8.90*
L1:U16	Level 01	1	58.01	9.78*
L1:U17	Level 01	2	79.61	10.00*
L1:U18	Level 01	2	76.73	11.66*
L1:U19	Level 01	2	76.73	11.66*

*Excluding clothes line and A/C condenser

Homes NSW

APPROVED PLANS
PART 5: DUV (S1) ACTIVITY DETERMINATION
Date: 12 May 2025
Project No.: BH27J
Downloaded by the New South Wales Land and Planning Corporation



LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE No 1800 738 718
www.dpie.nsw.gov.au/land-and-housing-corporation



NOMINATED ARCHITECTS:

Daniel Donal
NSW ARB No. 9068
Member
Australian Institute of Architects

REV	DATE	NOTATION/AMENDMENT
B	10/02/2025	Updated to Council Comments
A	07/10/2024	Part 5 Application
REV	DATE	NOTATION/AMENDMENT

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.

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Greenview Consulting Pty Ltd
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LANDSCAPE CONSULTANT
Ray Fuggle & Associates Pty Ltd
PH 0412 294 712



BUSINESS PARTNER:



PROJECT:
SENIORS HOUSING DEVELOPMENT
at
LOTS 52, 53, 54 & 55 IN DP 36467
29 - 35 LOCHINVAR ROAD REVESBY
NSW 2212

TITLE:
DEVELOPMENT DATA

DATE:
19/02/2025
SCALE:
As shown @ A1
STAGE:
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DD

FILE: CAD File: S:
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Revesby\3 Design\3 2 DA
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STATUS:
DEVELOPMENT ASSESSMENT

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19/02/2025
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5 of 18
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NCC 2022 NatHERS Thermal Performance Specification - Revesby			
External Walls			
Wall Type	Insulation	Colour	Comments
Cavity Brick	Reflective Foil	Light - SA < 0.475	Throughout, as per elevations
SA - Solar Absorbance			
Internal Walls			
Wall Type	Insulation	Colour	Comments
Plasterboard stud (Timber studs)	None		Internally inside units
Cavity Brick	None		Party walls between units
Cavity Brick	None		Shared walls with lobby/stairs/lift
Floors			
Floor Type	Insulation	Colour	Comments
Concrete slab on ground	None		Ground floor
Concrete	None		All units with adjoining unit below
Ceilings			
Ceiling Type	Insulation	Colour	Comments
Plasterboard	None		Unit above
Plasterboard	R4.0		Roof above
Insulation loss due to downlights has not been modelled in this assessment. A sealed exhaust fan has been included in every kitchen, bathroom, laundry and ensuite.			
Roof			
Roof Type	Insulation	Colour	Comments
Metal	R1.3 foil-faced blanket	Light - SA < 0.475	Throughout (unventilated)
SA - Solar Absorbance			
Glazing			
Opening type	U-Value	SHGC	Glazing & Frame Type
Sliding + Fixed (All Units except below)	5.4	0.58	e.g. Single glazed Low-e clear Aluminium frame
Awning (All Units except below)	5.4	0.49	e.g. Single glazed Low-e clear Aluminium frame
Sliding + Fixed (Unit 9)	4.8	0.59	e.g. Single glazed Low-e clear Aluminium frame
Awning (Unit 9)	4.8	0.51	e.g. Single glazed Low-e clear Aluminium frame
Sliding + Fixed (Units 17 & 19)	4.3	0.53	e.g. Single glazed Low-e clear Aluminium frame
Awning (Units 17 & 19)	4.3	0.47	e.g. Single glazed Low-e clear Aluminium frame
U and SHGC values are based on the AFRC Default Windows Set. Glazing systems to be installed must have an equal or lower U value and a SHGC value ± 10% of the above specified values.			
Skylights			
Skylight Type	Frame Type	Comments	
Fixed	Timber and aluminium	Velux Single glazed tint	
Ceiling fan			
Size	Location	Comments	
1200mm in diameter	Living areas	Throughout	
900mm in diameter	bedrooms	Throughout	

Certificate Prepared by



Greenview Consulting Pty Ltd
ABN: 32600067338
Email: dean@greenview.net.au Phone: 0404 649 762

BASIX REQUIREMENTS

- All Dwellings:
- Shower to have a min rating of 4 stars (>4.5 but <=6.0 U/min).
 - Toilet flushing system to have a min rating of 4 stars.
 - Taps for kitchens and bathrooms to have a min rating of 4 stars.
 - Hot water units to be electric heat pump to all units.
 - Provide electric cooktop and electric oven to all units
 - Provide split system air conditioning to living areas

- Common Areas:
- Central rainwater tank to be a min of 5,500 Litres, collecting a min of 1100sqm of roof area. Landscape connection to common landscape areas.
 - Central Solar system to be provided with a min electrical output of 6.5 peak kW.

01



SITE PLAN
1:200

LEGEND

- 1 BED DWELLING
- 2 BED DWELLING
- GARBAGE ROOM
- LANDSCAPE AREA
- DEEP SOIL ZONE
- PATH, DRIVEWAY AND COMMUNAL CAR PARK
- CERAMIC TILE (NS-CT)
- MULCHED MAINTENANCE PATH
- BRICK RETAINING WALL
- EX.TREES TO BE RETAINED SRZ (RED DOTTED) TPZ (BLUE DOTTED)
- EX.TREES TO BE REMOVED
- EXISTING LEVELS AS PER SURVEY DETAILS
- NEW LEVELS TO CIVIL ENGINEERS DETAILS
- HOSE TAP REFER TO HYDRAULIC ENGINEERS DETAILS
- OVERHEAD POWERLINE
- UNDERGROUND SEWER

LEGEND

- AB ARMCO BARRIER
- ABH ARMCO BARRIER WITH HANDRAIL
- ANG CONTINUOUS 100 x 100 x 6 GALVANISED STEEL PROTECTIVE ANGLE TO WALL LINE. REFER TO DETAILS
- ANG-1 CONTINUOUS 100 x 100 x 6 GALVANISED STEEL PROTECTIVE ANGLE FIXED TO FLOOR EXACT POSITION TO BE DETERMINED ON SITE
- B STEEL PROTECTIVE BOLLARDS REFER TO DETAILS
- B-1 VANITY BASIN
- B-2 WALL HUNG BASIN - DISABLE COMPLIANT
- B-3 WALL HUNG BASIN
- BC BATTERY CHARGE
- BF BACK FLASHING
- BFC BROOM FINISHED CONCRETE
- C CARPET AS SPECIFIED
- CAP CEILING ACCESS PANEL
- CH CLOTHES HOOK
- CR CEMENT RENDERED FINISH
- CS CLEANERS SHELF
- CT CERAMIC TILES
- CW COMPLETE WITH
- DB ELECTRICAL DISTRIBUTION BOARD
- DP DOWNPIPE - COLORBOND
- DPS DOWNPIPE & SPREADER - COLORBOND
- DT DOOR THRESHOLD REFER TO DETAIL
- DW DISHWASHER AS SPEC
- EAC EXPOSED AGGREGATE CONCRETE
- EDB EXISTING DISTRIBUTION BOARD
- EF REFER TO ELEC MAIN SWITCH BOARD
- EG EXHAUST FAN
- EG EAVES GUTTER
- EW EYE WASH
- F FRIDGE AS SPEC.
- FG FIXED GLASS
- FHR FIRE HOSE REEL REFER TO HYDRAULIC ENGINEERS DETAILS
- FR FR INDICATOR PANEL (LOCATED MAIN ENTRY)
- FIP RECESSED FLOOR MAT
- FM FLOOR WASTE
- FW FLOOR WASTE
- GD GRATED DRAIN
- GPO-S SINGLE GENERAL PURPOSE OUTLET
- GPO-D DOUBLE GENERAL PURPOSE OUTLET
- GRB GRAB RAIL
- GR GRAB RAIL
- HD HAND DRYER
- HTH HEATED THRESHOLD
- HWU HOT WATER UNIT
- HVO HYDRANT REFER TO HYDRAULIC ENGINEERS DETAILS
- LC LAMINATED BENCH TOP & CUPBOARDS
- LK LOCKERS
- M1 MIRROR
- MSB ELECTRICAL MAIN SWITCH BOARD
- MW MICROWAVE OVEN AS SPEC.
- NS-CT NON-SLIP CERAMIC TILE
- OF OVERFLOW
- PB PLASTERBOARD LINING
- PTD PAPER TOWEL DISPENSER
- PH RANGE HOOD
- RM RECESSED ENTRY MAT
- SCR SHOWER CURTAIN RAIL
- SC COLUMN TO STRUCTURAL ENGINEERS DETAILS
- SD SOAP DISPENSER
- SH WALL SHELF
- SK SEWER STACK REFER TO HYDRAULIC ENGINEERS DETAILS
- SK-1 STAINLESS STEEL SINK
- SK-2 CLEANER SINK
- SMF BOX GUTTER SUMP & OVERFLOW
- STF STEEL TROWEL FINISHED CONCRETE
- TOSI TACTILE INDICATOR
- TH THRESHOLD RAMP
- TP TIMBER FLOORING
- TP TOILET PARTITIONS
- TPH TOILET PAPER HOLDER
- TRS TRANSLUCENT ROOF SHEETING
- TS-1 TAP SET - WASHROOMS
- TS-2 TAP SET - DISABLE COMPLIANT
- TS-3 TAP SET - KITCHEN
- TS-4 TAP SET - CLEANERS
- US MOP & BROOM SHELF
- V VINYL
- VP VENT PIPE
- VTY REFER TO HYDRAULIC DOCUMENTS
- WB VANITY UNIT
- WB WORK BENCH
- WC-1 TOILET PAN / SUITE
- WC-2 TOILET PAN / SUITE DISABLE COMPLIANT
- WC-3 TOILET PAN / SUITE AMBULANT
- WG WHEEL GUIDE
- WT WASH TROUGH
- WU-1 WALL HUNG URINAL
- WS WHEEL STOP
- XP EPOXY FLOORING



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NOMINATED ARCHITECTS:

Daniel Donal
NSW ARB No.9068



REV	DATE	NOTATION/AMENDMENT
B	10/02/2025	Updated to Council Comments
A	01/02/2024	Part 5 Application

ARCHITECT	DTA Architects Pty Ltd PH (02) 9601 1011
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ELECTRICAL / BASIX CONSULTANT	Greenview Consulting Pty Ltd PH (02) 9544 1803
LANDSCAPE CONSULTANT	Ray Fuggle & Associates Pty Ltd PH (04) 212 712



BUSINESS PARTNER:



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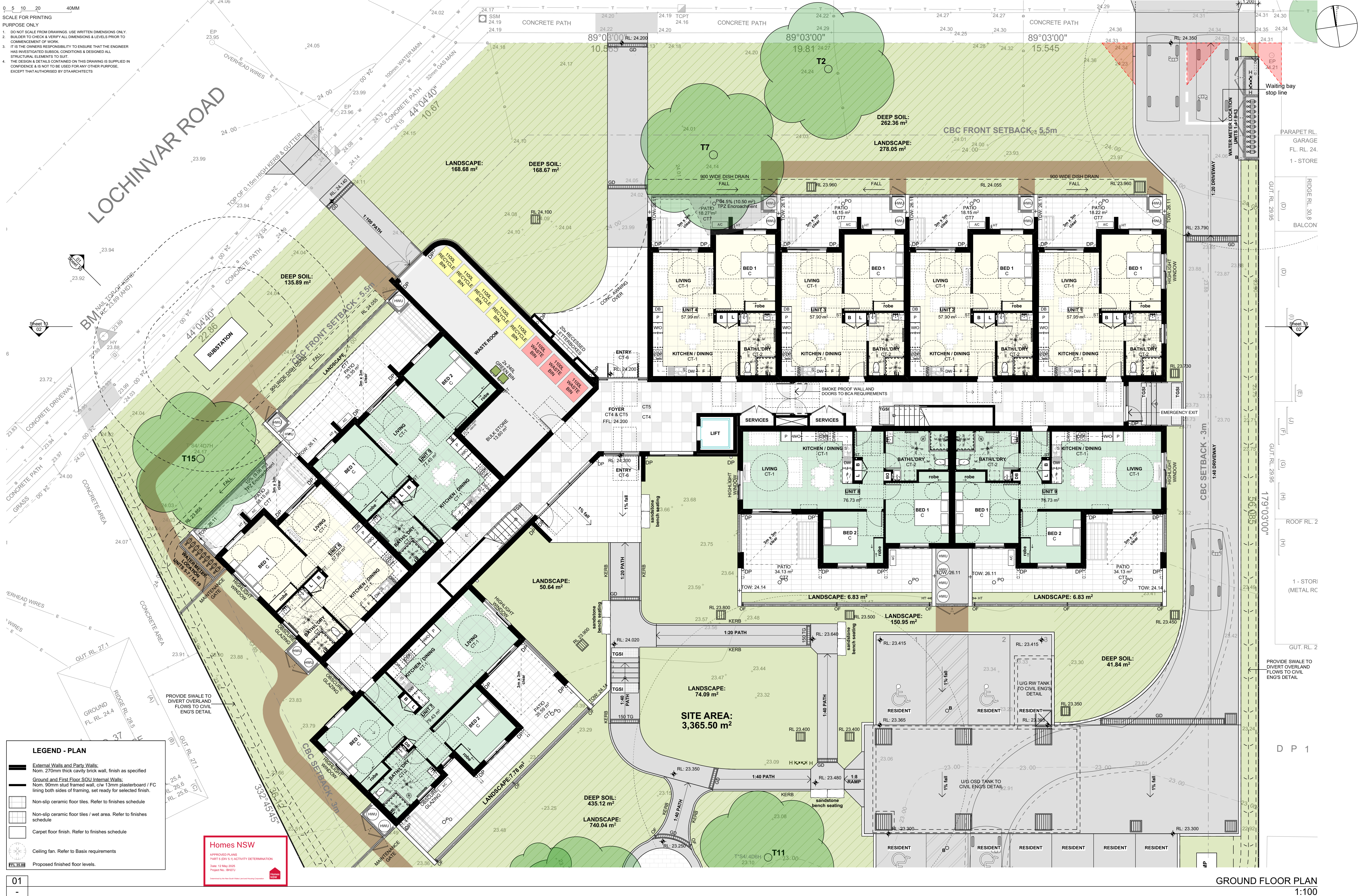
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STATUS:
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PROJ: BH27J
JOB: 2023.025

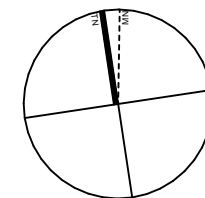


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LEGEND - PLAN

- External Walls and Party Walls:**
Nom. 270mm thick cavity brick wall, finish as specified
- Ground and First Floor SOU Internal Walls:**
Nom. 90mm stud framed wall, clw 13mm plasterboard / FC lining both sides of framing, set ready for selected finish.
- Non-slip ceramic floor tiles. Refer to finishes schedule
- Non-slip ceramic floor tiles / wet area. Refer to finishes schedule
- Carpet floor finish. Refer to finishes schedule
- Ceiling fan. Refer to Basix requirements
- Proposed finished floor levels.

01

FIRST FLOOR PLAN
1:100



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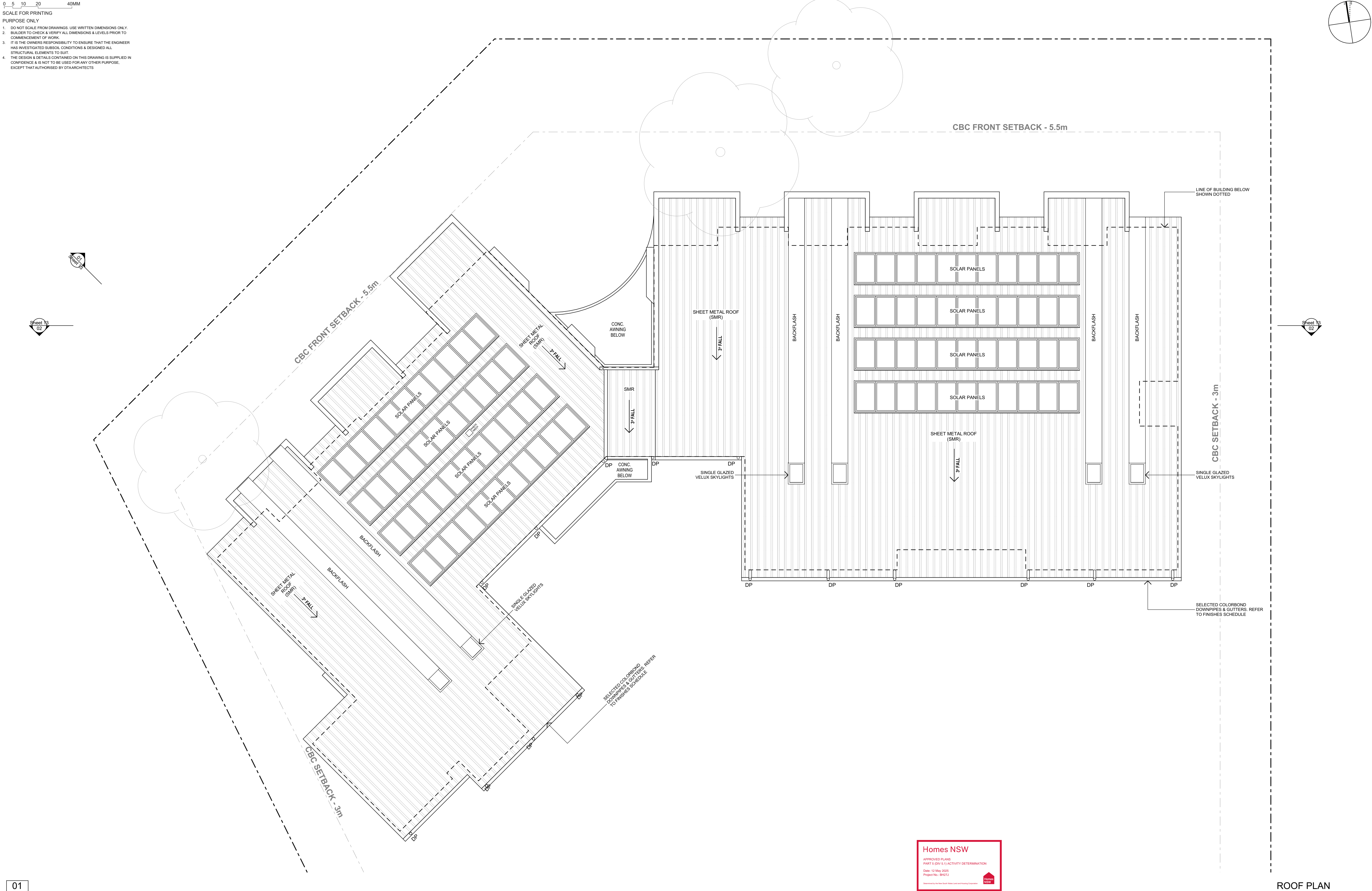
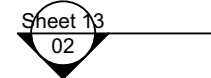
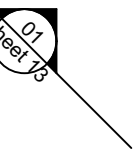
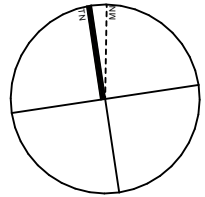
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ROOF PLAN
1:100

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A	07/02/2024	Part 5 Application
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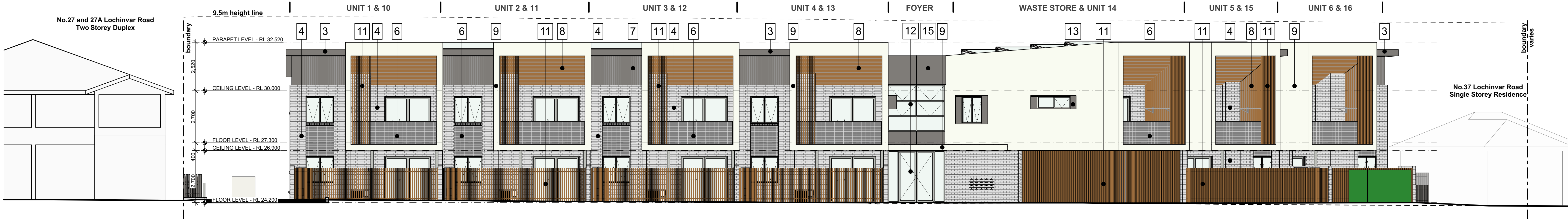
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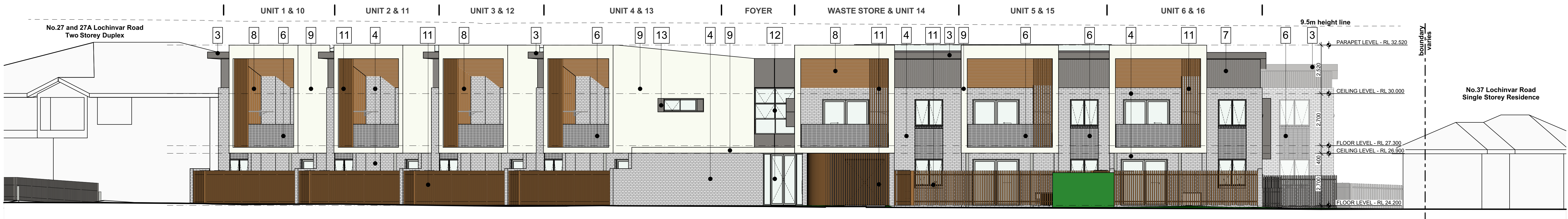
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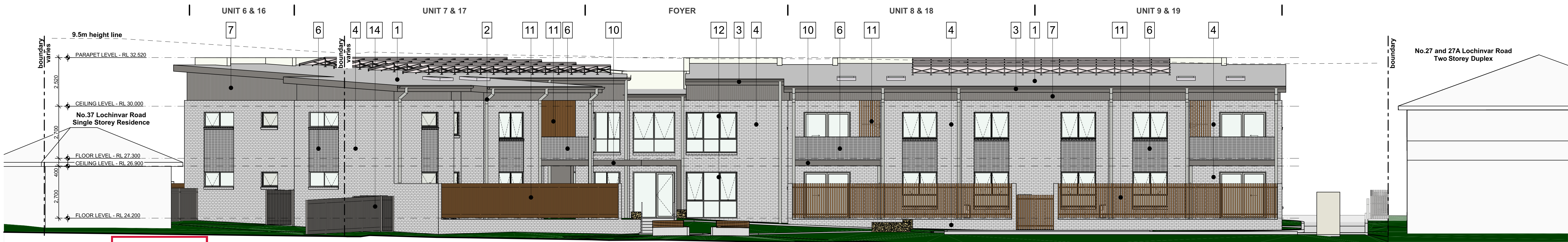
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2	DPs, BARGE, FASCIA Colorbond - Dover White	5	WALL(FBK2) Face Brick 2 Austral: Range - Naturals, Name - Canvas Running Bond	8	TIMBER LOOK BALCONY WALL & SOFFIT (MC2) Metal Wall Cladding Profile: DecoClad Narrowline 135 board, Colour - Spotted Gum or similar	11	TIMBER LOOK POS FENCE (MF1) & BALCONY PRIVACY SCREEN (PS1) Aluminium Colour - Spotted Gum or similar	14	FRONT & SIDE METAL FENCE (MF2) Colour - Wallaby BOUNDARY COLORBOND FENCE (CF) Colorbond Wallaby
3	GUTTERS, BARGE, FASCIA Colorbond - Wallaby	6	WALL(FBK2) Face Brick 2 Austral: Range - Naturals, Name - Canvas Stacked Bond	9	WALLS, SLAB EDGE & CONCRETE AWNING (PF1) Render, Paint Finish Colorbond Dover White	12	WINDOW & GLAZED DOOR FRAMES Aluminium Powdercoat - Grey	15	WALL (FC) Colorbond Wallaby



NORTH ELEVATION
1:100



NORTH WEST ELEVATION
1:100



SOUTH ELEVATION
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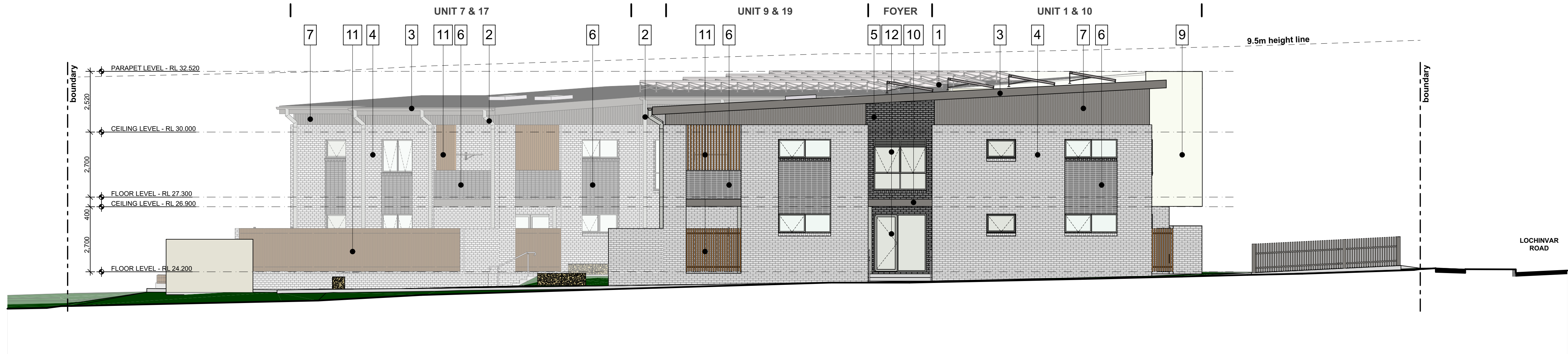
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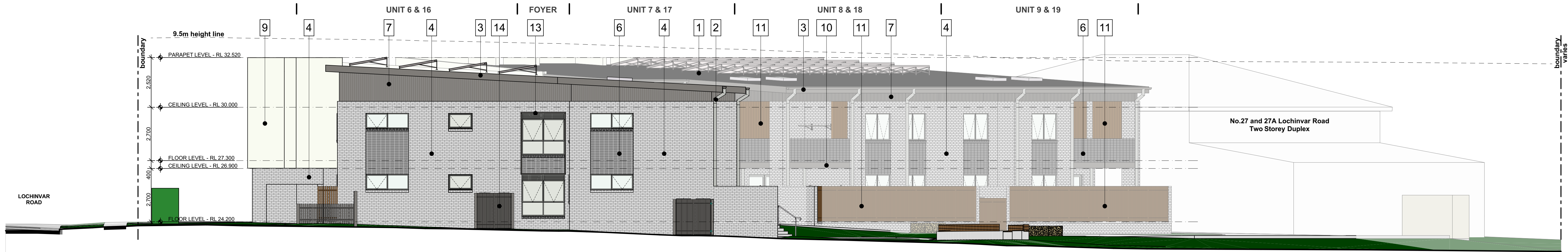
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EXTERNAL FINISHES SCHEDULE

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01
- EAST ELEVATION
1:100



02
- SOUTH WEST ELEVATION
1:100



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NOMINATED
ARCHITECTS:

Daniel Donal
NSW ARB No.9068

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B	10/02/2025	Updated to Council Comments
A	07/10/2024	Part 5 Application

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ARCHITECT
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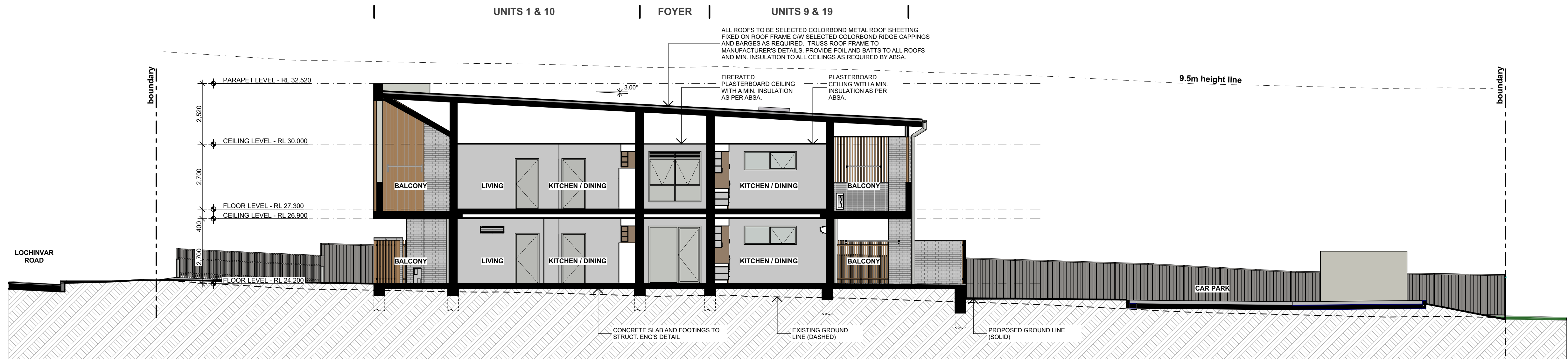
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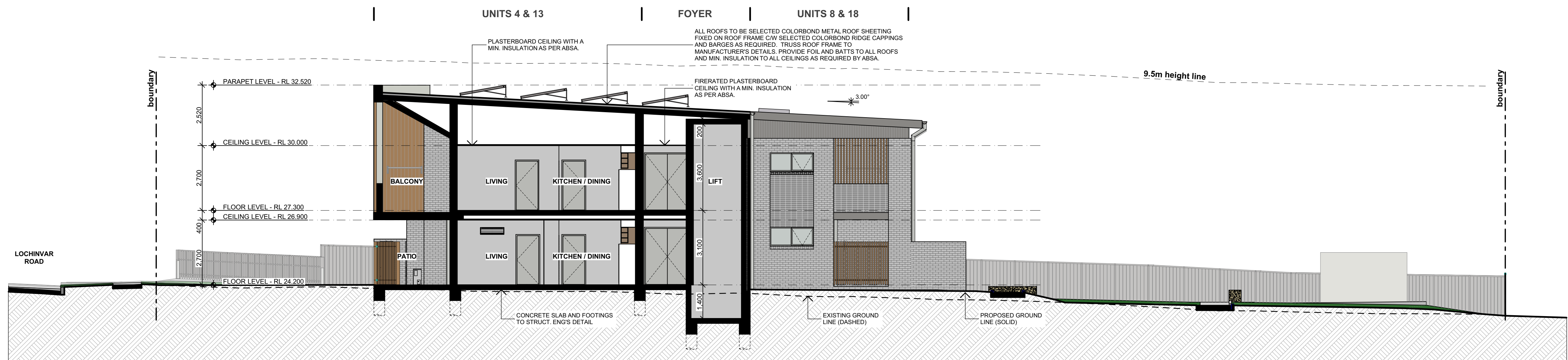
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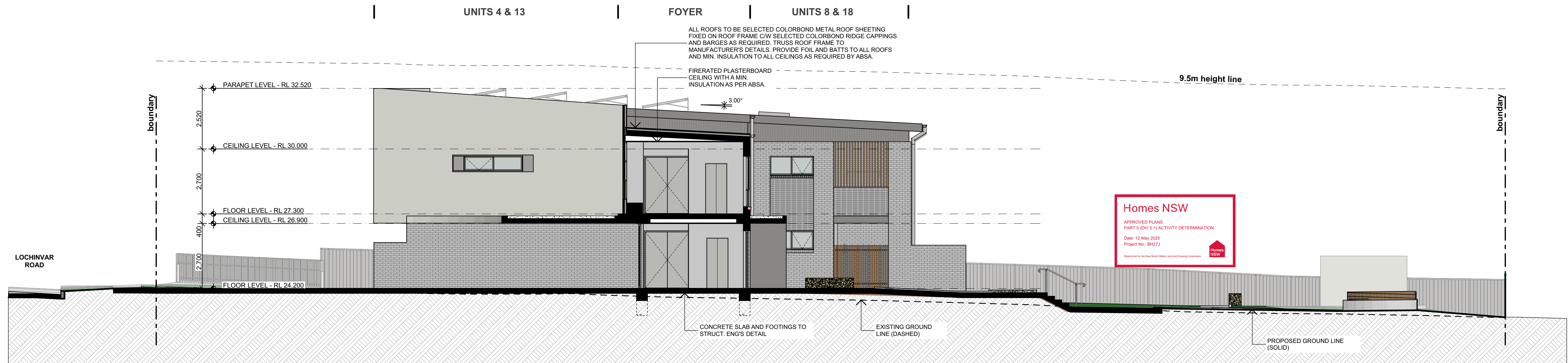
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SECTION 01
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SECTION 02
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SECTION 03
1:100



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PARRAMATTA NSW 2124
PHONE No 1800 738 718
www.dpie.nsw.gov.au/land-and-housing-corporation



NOMINATED ARCHITECTS:

Daniel Donal
NSW ARB No.9068



REV	DATE	NOTATION/AMENDMENT
B	10/02/2025	Updated to Council Comments
A	07/10/2024	Part 5 Application
REV	DATE	NOTATION/AMENDMENT
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Ray Fuggle & Associates Pty Ltd
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BUSINESS PARTNER:



PROJECT:
SENIORS HOUSING DEVELOPMENT
at
LOTS 52, 53, 54 & 55 IN DP 36467
29 - 35 LOCHINVAR ROAD REVESBY
NSW 2212

TITLE:
SECTIONS

FILE: CAD File: S:
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Revesby\3 Design\3 2 DA
2023.025 LAHC SH Lochinvar St Revesby DA -
FIRST.ppt

PLOTTED: 19/02/2025
9:29 AM

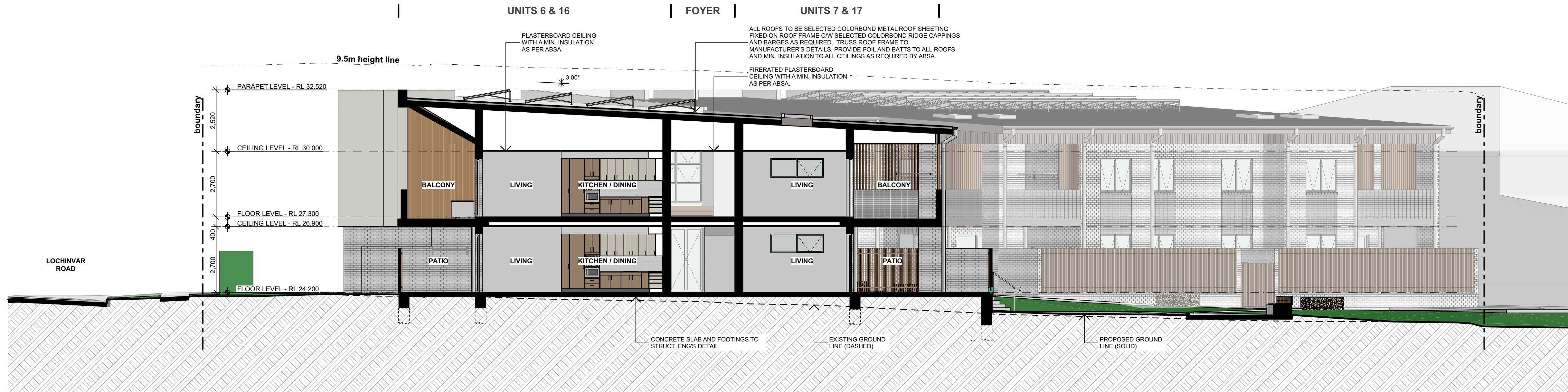
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19/02/2025	As shown @ A1	BH27J	2023.025
STAGE	DRAWN	CHECKED	CERTIFIER
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A	12 of 18	B	

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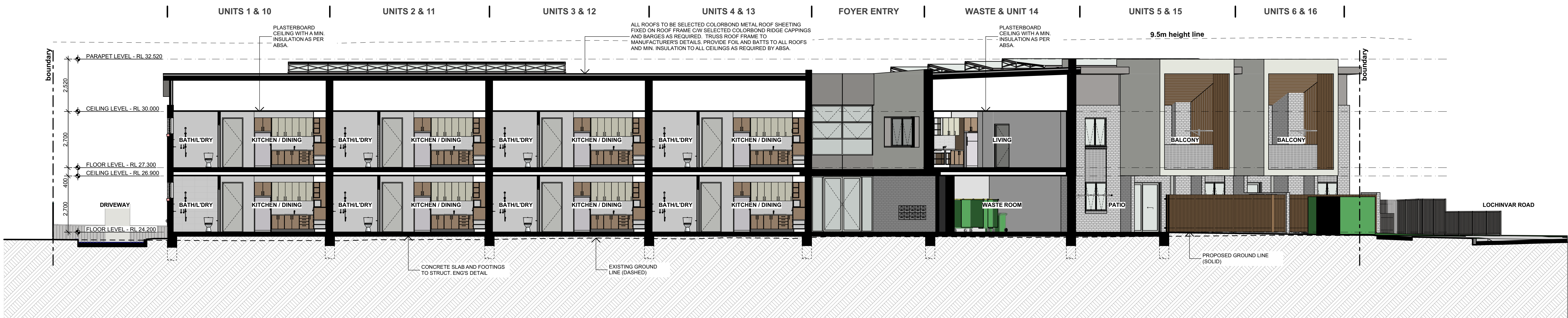
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01

SECTION
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02

SECTION
1:100

Homes NSW

APPROVED PLANS
PART 5 (DP) & 5.1 ACTIVITY DETERMINATION
Date: 12 May 2025
Project No.: BH27J



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ARCHITECTS:

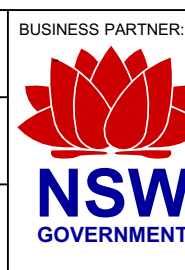
Daniel Donal
NSW ARB No.9068



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PH 0412 294 712



BUSINESS PARTNER:



PROJECT:
SENIORS HOUSING DEVELOPMENT
at
LOTS 52, 53, 54 & 55 IN DP 36467
29 - 35 LOCHINVAR ROAD REVESBY
NSW 2212

TITLE:
SECTIONS

FILE: CAD File: S:
1Data3\2023\2023.025 LAHC SH Lochinvar St
Revesby\3 Design\3 2 DA
1023 025 LAHC SH Lochinvar St Revesby.DA -
FIRST.plt

PLOTTED: 19/02/2025
9:29 AM

TYPE:
A

SHEET:
13 of 18

REV:
B

STATUS:
DEVELOPMENT ASSESSMENT

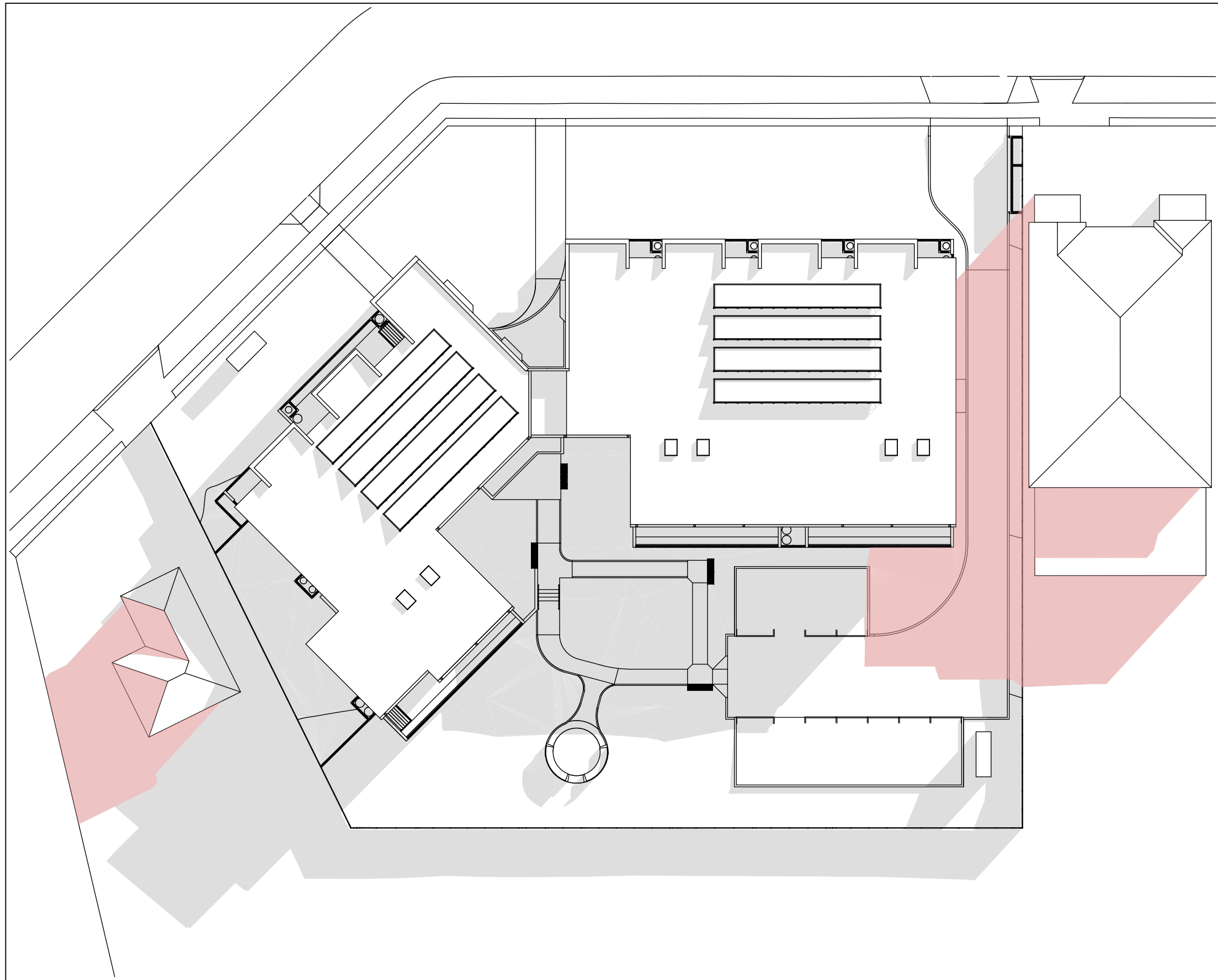
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19/02/2025	As shown @ A1	BH27J	2023.025
STAGE	DRAWN	CHECKED	CERTIFIER
C	SD	DD	DD

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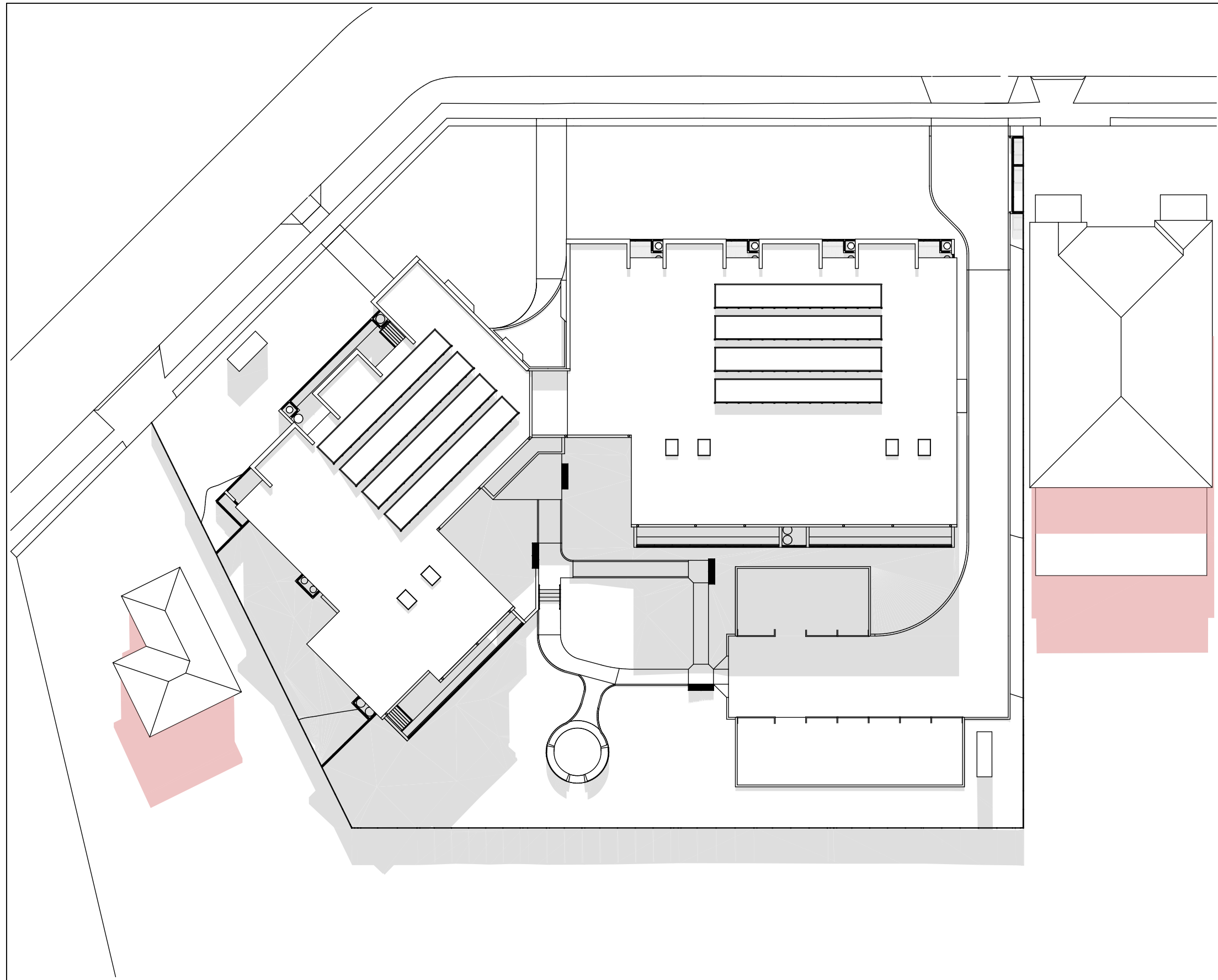
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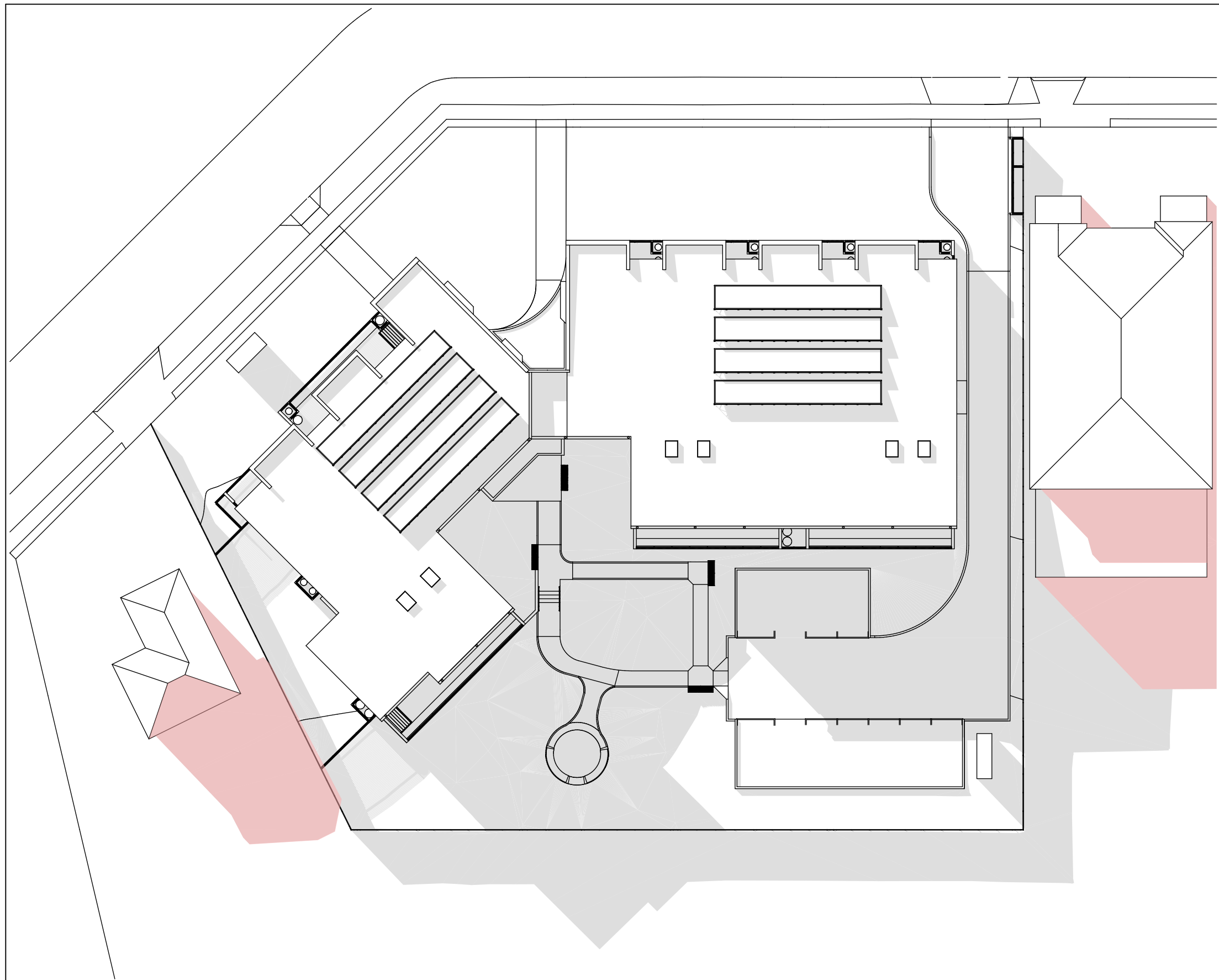
01
-

SHADOW DIAGRAM - 21 JUNE, 9 AM



02
-

SHADOW DIAGRAM - 21 JUNE, 12 NOON



03
-

SHADOW DIAGRAM - 21 JUNE, 3 PM

LEGEND

- Grey area indicates shadows cast by proposed development
- Red area indicates existing shadows cast by neighbouring properties





01
-

VIEW FROM SUN - 9 AM
1:200



02
-

VIEW FROM SUN - 10 AM
1:200



03
-

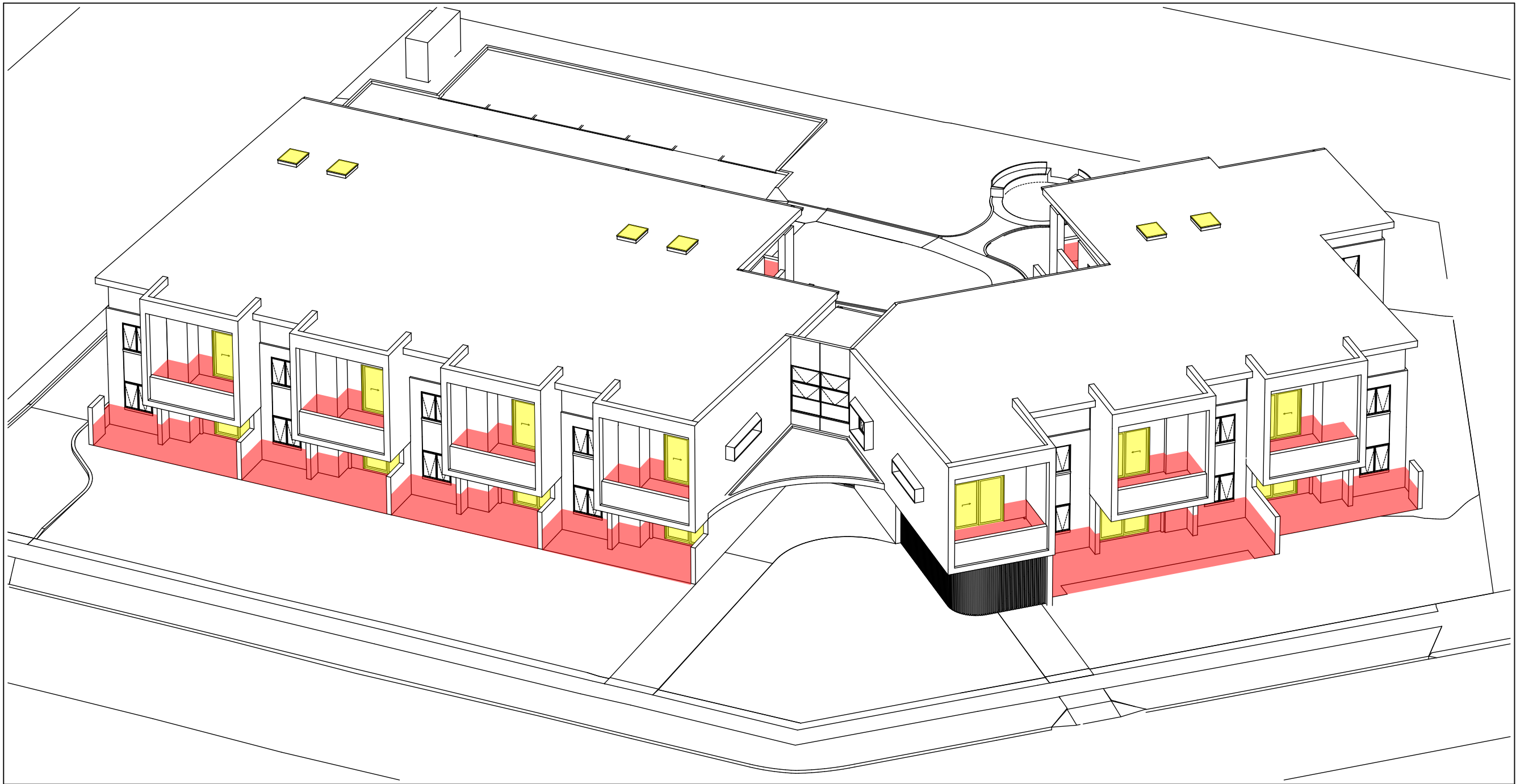
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04
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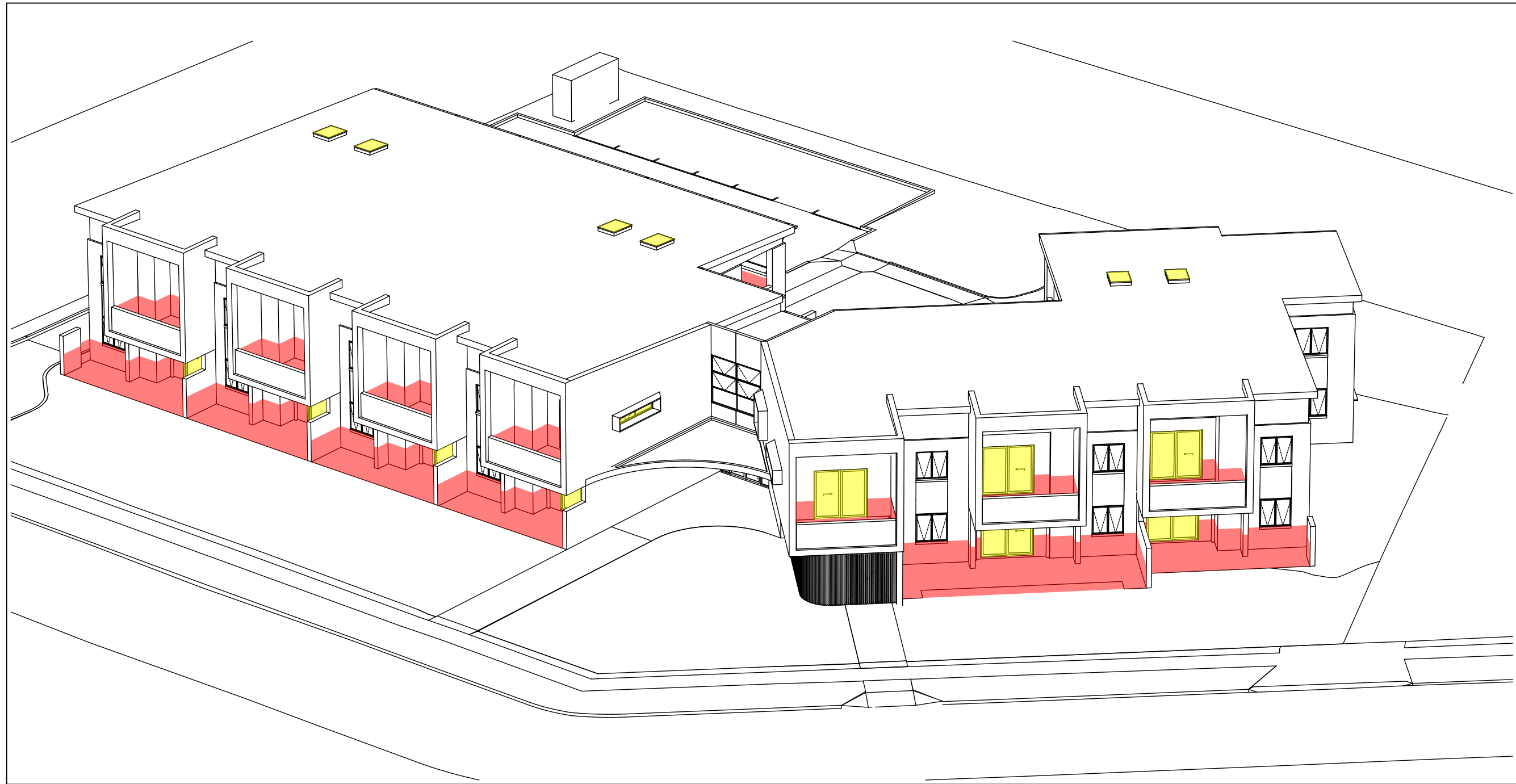
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01
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VIEW FROM SUN - 1 PM
1:200



02
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VIEW FROM SUN - 2 PM
1:200



03
-

VIEW FROM SUN - 3 PM
1:200

Solar Access to Living Rooms								Solar Access to Private Open Space								Compliance	
	9-10 am	10-11 am	11-12 am	12-1 pm	1-2 pm	2-3 pm	Hours	9-10 am	10-11 am	11-12 am	12-1 pm	1-2 pm	2-3 pm	Hours		Complies	
GF_Unit 1							5							6		Yes	
GF_Unit 2							5							6		Yes	
GF_Unit 3							5							6		Yes	
GF_Unit 4							5							6		Yes	
GF_Unit 5							3							5		Yes	
GF_Unit 6							3							5		Yes	
GF_Unit 7							0							2		No	
GF_Unit 8							0							0		No	
GF_Unit 9							1							1		No	
L1_Unit 10							4							6		Yes	
L1_Unit 11							4							6		Yes	
L1_Unit 12							4							6		Yes	
L1_Unit 13							6							6		Yes	
L1_Unit 14							6							5		Yes	
L1_Unit 15							3							5		Yes	
L1_Unit 16							3							5		Yes	
L1_Unit 17							6*							4		Yes	
L1_Unit 18							6*							2		Yes	
L1_Unit 19							6*							1		No	
TOTAL	16 / 19 Units - 84%							16 / 19 Units - 84%							15 / 19 Units - 78%		

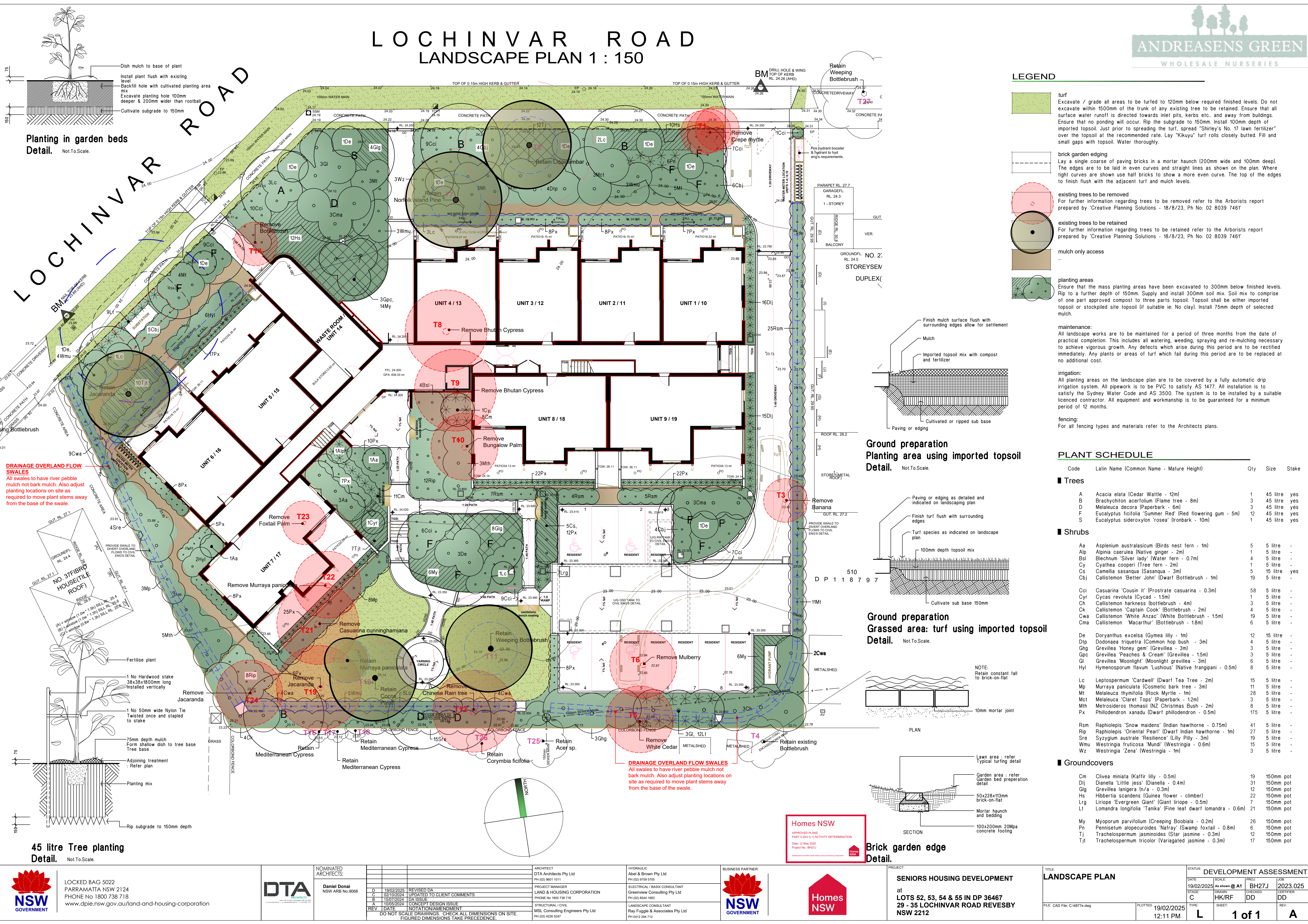
*solar panels



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Regulated Design Record				
Project Address: 29-35 LOCHINVAR ROAD REVESBY NSW 2212				
Project Title: Seniors Housing Development				
Consent No: BH27J - ???/??/????		Body Corporate Reg No:		
Drawing Title: SPECIFICATION SHEET		Drawing No: Sheet 01		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No

GENERAL

- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS, AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO THE PROJECT MANAGER FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.
- SETTING OUT DIMENSIONS SHOWN ON THE DRAWING SHALL BE VERIFIED BY THE CONTRACTOR. ALL BENCHMARKS ARE TO BE CONFIRMED FOR LEVEL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- DURING CONSTRUCTION, THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVER-STRESSED.
- TBM'S AND LEVELS ARE SHOWN TO AHD. CONTRACTOR TO PERFORM QUALITY CONTROL SURVEY AND MAINTAIN IT DURING THE EXTENT OF THE CONSTRUCTION PERIOD.
- THE LOCATION OF ALL EXISTING SERVICES HAVE BEEN OBTAINED FROM THE AVAILABLE AUTHORITY RECORDS. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN ON THE PLANS. THE CONTRACTOR SHALL PROVE ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORKS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOWERING AND REALIGNMENT OF MINOR DISTRIBUTION SERVICES IN CONSULTATION WITH THE RELEVANT CODE OF PRACTICE STIPULATED BY THE ASSET OWNER. ALL EXISTING STREET SIGNS TO BE REINSTATED AS REQUIRED.
- ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE SPECIFICATIONS AND TO THE SATISFACTION OF THE SUPERINTENDENT, COUNCIL, AND THE SERVICE AUTHORITIES. THE SUPERINTENDENT SHALL CARRY OUT REGULAR SITE INSPECTIONS. THE CONTRACTOR SHALL NOTIFY COUNCIL 7 DAYS PRIOR TO COMMENCEMENT OF WORKS.
- THE CONTRACTOR IS TO SUBMIT AN ENVIRONMENTAL MANAGEMENT PLAN IDENTIFYING THE RISKS ASSOCIATED WITH THE WORKS AND CONTROL MEASURES FOR APPROVAL, PRIOR TO COMMENCING WORKS ON SITE. THE EMP MUST COMPLY WITH ALL STATUTES, BY-LAWS, STANDARDS, AND SECTION 6.3 OF URBAN STORMWATER - BEST PRACTICE ENVIRONMENTAL MANAGEMENT GUIDELINES. THE CONTRACTOR SHALL CONTROL SEDIMENTATION, EROSION , AND POLLUTION DURING CONSTRUCTION IN ACCORDANCE WITH THE 'GUIDELINES FOR ENVIRONMENTAL MANAGEMENT - DOING IT RIGHT ON SUBDIVISIONS'.
- ANY STRUCTURES, PAVEMENTS OR SURFACE DAMAGED, DIRTIED OR MADE UNSERVICEABLE DUE TO CONSTRUCTION WORK SHALL BE REINSTATED TO THE SATISFACTION OF THE SUPERINTENDENT. ALL MATERIAL ASSETS MODIFIED OR DAMAGED BY THE PROPOSED WORKS ARE TO BE REINSTATED TO THE SATISFACTION OF THE RELIANT CITY COUNCIL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES BY SETTLEMENT SUBSIDENCE OR REMOVAL SUPPORT CONSEQUENT UPON OPERATION UNDER THE CONTRACT AND SHALL MAKE GOOD ALL DAMAGES AT THEIR OWN COST.
- ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT LOCAL COUNCIL'S STANDARD DRAWINGS AND TO THE SATISFACTION OF THE COUNCIL SUPERVISING ENGINEER,
- ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH AS4300 AND WITH THE PLANS APPROVED BY THE LOCAL CITY COUNCIL.
- ANY VARIATION TO THE DETAILS SHOWN ON THE DRAWINGS MUST BE AUTHORISED BY THE SUPERINTENDENT PRIOR TO FABRICATION AND/OR CONSTRUCTION
- ALL CONSTRUCTION WORKS SHALL BE RESTRICTED TO THE HOURS AS ADVISED BY THE SUPERINTENDENT
- THE CONTRACTOR SHALL NOT ENTER OR WORK IN ADJOINING PROPERTIES WITHOUT WRITTEN PERMISSION FROM THE PROPERTY OWNERS OR RESPONSIBLE AUTHORITIES.
- ALL NEW WORKS TO HAVE A SMOOTH JUNCTION WITH EXISTING WORK
- ALL PROPERTY ITEMS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURES SPECIFICATIONS. ANY ALTERNATIVE PRODUCTS ARE TO BE APPROVED BY THE SUPERINTENDENT PRIOR TO INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE TO CARRY OUT ALL WORKS WITH ADEQUATELY SKILLED, TRAINED, AND QUALIFIED TRADE WORKERS.
- IT IS THE MAIN CONTRACTORS RESPONSIBILITY TO SUPPLY THE RELEVANT NOTES, SPECIFICATIONS, AND DRAWINGS TO ALL SUB-CONTRACTORS.
- TRAFFIC CONTROL MEASURES ARE TO BE IMPLEMENTED AT ALL TIMES IN ACCORDANCE WITH AS2543. A SITE SAFETY PLAN IS TO BE PREPARED BY THE CONTRACTOR IN ACCORDANCE WITH THE RELEVANT STANDARDS.
- THE CONTRACTOR IS TO ENSURE THE SITE IS KEPT AT CONSISTENTLY CLEARED OF RUBBISH AND IS MAINTAINED IN A SAFE AND TIDY CONDITION TO THE SATISFACTION OF THE SUPERINTENDENT.
- THE CONTRACTOR IS TO COMPLY WITH THE REQUIREMENTS OF THE LATEST OCCUPATIONAL HEALTH AND SAFETY ACT.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY FENCING TO THE SATISFACTION OF THE SUPERINTENDENT DURING THE CONTRACT TO PREVENT UNAUTHORISED ENTRY INTO THE SITE. WITH CONTRACTOR SHALL ALSO REMOVE TEMPORARY FENCING ON COMPLETION OF THE WORK.
- ALL NEW WORKS SHALL MAKE A SMOOTH JUNCTION WITH EXISTING CONDITIONS.
- ROADS ADJOINING THE SITE MUST BE KEPT CLEAN AND FREE OF ALL EXCAVATED/TRANSPORTED SPOIL MATERIAL.

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EARTHWORKS

- THE CONTRACTOR SHALL INSTALL EFFECTIVE EROSION AND SEDIMENTATION CONTROL MEASURES TO THE SATISFACTION OF THE SUPERINTENDANT PRIOR TO COMMENCING EARTHWORKS. THESE MEASURES SHALL BE MAINTAINED FOR THE DURATION OF THE CONTRACT.
- ADEQUATE DRAINAGE OF ALL WORKING AREAS SHALL BE MAINTAINED THROUGHOUT THE PERIOD OF CONSTRUCTION TO ENSURE RUN-OFF OF WATER WITHOUT PONDING, EXCEPT WHERE PONDING FORMS PART OF AN APPROVED EROSION AND SEDIMENTATION CONTROL SYSTEM.
- THE CONTRACTOR SHALL OBTAIN THE WRITTEN CONSENT OF THE SUPERINTENDANT OR THE USE OF ANY STOCKPILE WITE WHICH IS NOT SHOWN ON THE DRAWINGS. PROPOSAL IN THIS REGARD SHALL BE SUBMITTED AT LEAST THREE WORKING DAYS BEFORE STOCKPILING IS DUE TO COMMENCE AND SHALL SPECIFY THE MAXIMUM DIMENSIONS OF THE PROPOSAL.
- COMPACTION OF ALL MATERIALS INCLUDING ROAD SURFACES SHALL BE AS SPECIFIED BY THE GEOTECHINCAL ENGINEER.

CONCRETE

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS3600 AND AS3610 CURRENT EDITIONS WITH AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- ALL CONCRETE TO BE 32 MPa WITH A MAXIMUM SLUMP OF 80mm, AND MAXIMUM AGGREGATE SIZE OF 20mm UNO.
- CONCRETE SHALL BE PLACED IN A MANNER THAT AVOIDS SEGREGATION. CONCRETE SHALL NOT BE PLACED IF THE AMBIENT AIR TEMPERATURE IS LESS THAN 5 °C OR GREATER THAN 35 °C. ADDITIONAL PRECAUTIONS MAY NEED TO BE TAKEN IN WINDY CONDITIONS AND/OR TEMP. ABOVE 30°C.
- THE CONTRACTORS SHALL SUBMIT PROPOSED CURING METHODS FOR THE ENGINEERS WRITTEN APPROVAL PRIOR TO CONCRETE POUR.
- REPAIRS TO CONCRETE SHALL NOT BE ATTEMPTED WITHOUT INSPECTION & PERMISSION OF THE ENGINEER.
- CONCRETE FORMED SURFACE TO HAVE FINISHED IN ACCORDACE WITH AS 3610 OR AS SPECIFIED OTHERWISE.

STORMWATER DRAINAGE

- ALL STORMWATER WORKS ARE TO BE UNDERTAKEN GENERALLY IN ACCORDANCE WITH AS3500 (LATEST EDITION) STORMWATER DRAINAGE
- PIPES OF 300mm DIA. AND UNDER SHALL BE UPVC TO AS 1254.
- PIPES OF 375mm DIA. AND LARGER SHALL BE FRC OR CONCRETE CLASS 2 TO AS 1342, RUBBER RING JOINTED UNO.
- PIPES UP TO 150mm DIA. SHALL BE LAID AT A MINIMUM GRADE OF 1.0%. PIPES 225mm DIA. AND OVER TO BE LAID AT A MINIMUM GRADE OF 0.5%. UNO. BEDDING MATERIAL TO AS 2032 OR AS 3725 AS APPROPRIATE.
- MINIMUM COVER TO PIPES 300mm DIA. AND OVER GENERALLY SHALL BE 450mm IN CARPARK & ROADWAY AREAS UNO.
- UNLESS NOTED OTHERWISE, ALL CONCRETE PIPE ARE TO BE CLASS 2 AND RUBBER RING JOINTED. RUBBER RINGS SHALL BE MANUFACTURED AND TESTED IN ACCORDANCE WITH AS164 (LATEST EDITION). THE EXCAVATED TRENCH WIDTH FOR PIPE LAYING MUST BE AT LEAST 400mm WIDER THAN THE OUTER DIAMETER OF THE PIPE. PIPES ARE TO BE LAID CENTRALLY WITHIN THE EXCAVATED TRENCH.
- ALL PIPEWORK SHALL BE BEDDED ON A CONTINUOUS UNDERLAY OF SAND, NOT LESS THAN 75mm THK. IN OTHER THAN ROCK AND 200mm THK. IN ROCK AFTER COMPACTION. THE SAND SHALL BE GRADED IN ACCORDANCE WITH AS3500 AND COMPACTED TO AT LEAST 90% OF THE MAXIMUM DRY DENSITY AND SHALL BE GRADED EVENLY WITH THE ADDITIONAL BEDDING.
- THE BED AND HAUNCH MATERIAL SHALL BE COMPACTED FOR THE FULL WIDTH OF THE TRENCH BY A MINIMUM OF TWO PASSES OF A VIBRATING PLATE OR HAND TAMPING METHODS TO THE SATISFACTION OF THE SUPERINTENDENT.
- CHASES SHALL BE FORMED WHERE NECESSARY TO PREVENT SOCKETS, FLANGES OR THE LIKE FROM BEARING ON THE BOTTOM OF THE TRENCH.
- THE CONTRACTOR MUST LEAVE ALL STORMWATER DRAINAGE WORKS UNCOVERED UNTIL ANY TESTING DEEMED NECESSARY BY THE SUPERINTENDENT HAS BEEN PERFORMED.
- THE CONTRACTOR SHALL ENSURE THAT ANY EXISTING STRUCTURES LOCATED ADJACENT TO EXCAVATED TRENCHES ARE SUPPORTED OR PROTECTED TO PREVENT DAMAGE TO OR MOVEMENT TO THESE STRUCTURES.
- PIPE LAYING SHALL BEGIN AT THE DOWNSTREAM END OF THE LINE WITH THE SOCKET ENDS OF THE PIPE FACING UPSTREAM. THE BARREL OF EACH PIPE SHALL BE IN CONTACT WITH THE BEDDING MATERIAL THROUGHOUT ITS FULL LENGTH.
- FOR RUBBER RING JOINTS THE PIPE ENDS SHALL BE TIGHTLY JOINED WITH THEIR INNER SURFACES AT THE MANUFACTURES NOMINATED LAYING GAP.
- LIFTING HOLES IN PIPES SHALL BE PLUGGED WITH MORTAR, PRECAST TAPERED PLUGS, OR TAPE SURROUNDINGS OR OTHER APPROVED MEANS PRIOR TO BACKFILL MATERIAL BEING PLACED.
- CUTTING OPERATIONS FOR CONCRETE PIPES SHALL PROVIDE NEAT END SURFACES. THE CUT SURFACES SHALL BE GIVEN TWO COATS OF A APPROVED EPOXY PAINT.
- COMPLETED CEMENT MORTAR JOINTS SHALL BE KEPT DAMP AND PROTECTED FROM THE DIRECT RAYS OF THE SUN UNTIL BACKFILLED.
- DRAINAGE LINES SHALL BE CONSTRUCTED TO THE TOLERANCES IN ACCORDANCE WITH THE RELIANT AUSTRALIAN STANDARDS, SUPERINTENDENTS SPECIFICATIONS AND THE MANUFACTURES SPECIFICATIONS.
- BACKFILL MATERIAL SHALL BE INSPECTED AND APPROVED BY THE SUPERINTENDENT PRIOR TO PLACING AND COMPACTION
- ALL BACKFILL FOR STORMWATER DRAINAGE WORKS IS TO BE COMPACTED IN LAYERS NOT EXCEEDING 30mm LOOSE THICKNESS AND COMPACTED WITHOUT DAMAGING OR DISPLACING THE PIPEWORK.
- STEP IRONS AT SPACINGS OF 300m ARE TO BE PROVIDED IN DRAINAGE PITS MORE THAN 1.2m DEEP.
- PROVIDE 3.0m LENGTH OF Ø100 SUBSOIL DRAINAGE PIPE WRAPPED IN FABRIC SOCK AT UPSTREAM END F EACH PIT.
- UNLESS OTHERWISE SPECIFIED, ALL DRAINAGE GRATES TO BE CLASS "C" GALVANISED MILD STEEL TO AS 3996 (LATEST EDITION)
- UPVC PIPES SHALL BE TRANSPORTED. HANDLED, AND STORED IN ACCORDANCE WITH THE MANUFACTURES SPECIFICATIONS
- UPVC PIPE LAYING SHALL BEGIN AT THE DOWNSTREAM END OF THE LINE WITH THE SOCKET END OF THE PIPE FACING UPSTREAM. WHEN THE PIPES ARE LAID, THE BARREL OF EACH PIPE SHALL BE IN CONTACT WIT THE BEDDING MATERIAL THROUGHOUT ITS FULL LENGTH.
- THE UPVC PIPE ENDS SHALL BE THOROUGHLY CLEANED BEFORE THE JOINT IS MADE. JOINTING SHALL BE IN ACCORDANCE WIT THE MANUFACTURES SPECIFICATIONS WITH JOINTING SOLVENT AND PRIMER.

EROSION, SEDIMENT AND SITE MANAGEMENT

- ALL EROSION AND SILTATION CONTROL DEVICES ARE TO BE PLACED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS. THE LOCATION OF SUCH DEVICES (SHOWN ON THIS DRAWINGS) IS INDICATIVE ONLY AND FINAL POSITION SHOULD BE DETERMINED ON SITE.
- SURPLUS TOPSOIL SHALL BE STOCKPILED WHERE DIRECTED. DIVERSION BANKS ARE TO BE PLACED UPSTREAM AND SHALL DISCHARGE TO SEDIMENT BARRIERS. ALL STOCKPILES ARE TO BE VEGETATED WITHIN 14 DAYS OF FORMATION. SILT FENCES ARE TO BE PLACED ON THE DOWNSTREAM FACE.
- DURING TRENCH EXCAVATION ALL SPOIL SHALL BE MOUNDED ON THE UPHILL SIDE OF TRENCHES AND PLACEMENT IS TO COMPLY WITH THE SUPERINTENDENTS REQUIREMENTS.
- PROVIDE SEDIMENT TRAPS TO ALL INLET PITS.
- ALL TURF SODS AND SEEDED AREAS ARE TO BE WATERED AND FERTILISED AS DIRECTED.
- ALL EROSION AND SILTATION CONTROL DEVICES ARE TO BE CLEARED OF DEPOSITED SILT AND MAINTAINED TO THE SATISFACTION OF THE SUPERINTENDENT.
- GENERALLY BARRIERS SHOULD BE PLACED APPROXIMATELY 5.0 METRES OUTSIDE POTENTIAL DISTURBED AREAS.
- A LOG BOOK OR OTHER SUITABLE RECORDS MUST BE KEPT BY THE SITE SUPERVISOR IN ACCORDANCE WITH THE EPA'S REQUIREMENTS.
- CONTRACTOR TO FOLLOW THE RECOMMENDED SEQUENCE OF OPERATIONS AS SPECIFIED BY THE DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT IN THE BROCHURE "PREPARING SOIL AND WATER MANAGEMENT PLANS".
- BUILDER IS TO CONDUCT WORKS IN ACCORDANCE WITH COUNCILS CONDITION TO DUST SUPPRESSION AND SEDIMENT REMOVAL MEASURES.
- BUILDER TO CONFIRM LOCATION OF STOCKPILES, FENCING, STABILISED ACCESS ETC. ON COMMENCEMENT OF WORK. ENGINEER TO BE NOTIFIED.
- WASTE MATERIALS ARE TO BE STOCKPILED OR LOADED INTO SKIP-BINS LOCATED AS SHOWN ON PLAN.
- STOCKPILES OF LOOSE MATERIALS SUCH AS SAND, SOIL, GRAVEL MUST BE COVERED WITH GEOTEXTILE SILT FENCE MATERIAL. PLASTIC SHEETING OR MEMBRANE MUST NOT BE USED. SAFETY BARRICADING SHOULD BE USED TO ISOLATE STOCKPILES OF SOLID MATERIALS SUCH AS STEEL REINFORCING, FORMWORK, SCAFFOLDING.
- TRUCKS REMOVING EXCAVATED / DEMOLISHED MATERIAL SHOULD TRAVEL ON STABILISED CONSTRUCTION PATHS. MATERIAL TO BE TAKEN TO THE TRUCK TO REDUCE TRUCK MOVEMENT ON SITE. TRUCKS TO BE LIMITED TO SINGLE UNIT HEAVY RIGID VEHICLES. (NO SEMITRAILERS)
- ANY SEDIMENT DEPOSITED ON THE PUBLIC WAY, INCLUDING FOOTPATH RESERVE AND ROAD SURFACE, IS TO BE REMOVED IMMEDIATELY.
- PROVIDE BARRIERS AROUND ALL CONSTRUCTION WORKS WITHIN THE FOOTPATH AREA TO PROVIDE SAFE ACCESS FOR PEDESTRIANS.
- CONCRETE PUMPS AND CRANES ARE TO OPERATE FROM WITHIN THE BALLAST ENTRY DRIVEWAY AREA AND ARE NOT TO OPERATE FROM THE PUBLIC ROADWAY UNLESS SPECIFIC COUNCIL PERMISSION IS OBTAINED.
- DELIVERY VEHICLES MUST NOT STAND WITHIN THE PUBLIC ROADWAY FOR MORE THAN 20 MINUTES AT A TIME.
- ANY EXCAVATION WORK ADJACENT TO ADJOINING PROPERTIES OR THE PUBLIC ROADWAY IS NOT TO BE COMMENCED UNTIL THE STRUCTURAL ENGINEER IS CONSULTED AND SPECIFIC INSTRUCTIONS RECEIVED FROM THE ENGINEER.
- TOILET FACILITIES MUST BE EITHER A FLUSHING TYPE OR APPROVED PORTABLE CHEMICAL CLOSET. CHEMICAL CLOSETS ARE TO BE MAINTAINED & SERVICED ON A REGULAR BASIS SO THAT OFFENSIVE ODOUR IS NOT EMITTED.
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE HILLS SHIRE COUNCIL'S ENVIRONMENTAL SITE MANAGEMENT DEVELOPMENT CONTROL PLAN DOCUMENTS, CURRENT EDITION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL MEASURES ARE TAKEN DURING THE COURSE OF THE CONSTRUCTION TO PREVENT SEDIMENT EROSION AND POLLUTION OF THE DOWNSTREAM SYSTEM. SUPERVISING ENGINEER SHOULD BE CONTACTED IF IN DOUBT. ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED AFTER EACH RAINFALL EVENT FOR STRUCTURAL DAMAGE AND TRAPPED SEDIMENT TO BE REMOVED TO A NOMINATED SOIL STOCKPILE SITE.
- PROVIDE BARRIERS AROUND ALL CONSTRUCTION WORKS WITHIN THE FOOT PATH AREA TO PROVIDE SAFE ACCESS FOR PEDESTRIANS.

ROCK WORKS

- ROCK SIZES ARE SPECIFIED ACCORDING TO THEIR POSITION AND RESISTANCE TO HYDRAULIC FORCES. THE ROCK HAS BEEN SHOWN SCHEMATICALLY IN THE DRAWINGS AND SHALL BE 100mm NOMINAL SIZE.
- ROCK SUPPLIED FOR THE WORKS MUST BE HARD, DURABLE, AND LOCALLY SOURCED.
- ROCK IN THE FORM OF BLOCKS WITH ANGULAR EDGES IS REQUIRED TO ENSURE CONSISTENT INTERLOCKING DURING PLACEMENT.
- ROCK IS TO BE IN THE NATURAL FORM AND NOT CUT OF SHAPED.
- ALL GAPS WITHIN ROCK TO BE FILLED WITH COARSE GRAVEL TO THE TOP AND THEN FILLED WITH A FILTER MEDIA. THIS GRADED ROCK IS TO BE OVERLAID ON A COARSE GRAVEL BEDDING WITH A MIN. 20mm THICKNESS. PROVIDE A GEOTEXTILE FABRIC BIDIM A64 OR APPROVED EQUIVALENT.

SEQUENCE OF OPERATIONS

- PROVIDE SHAKE DOWN PAD AT ENTRY OF SITE.
- CONSTRUCT SEDIMENT FENCING (REFER DETAILS)
- CONSTRUCT DRAINAGE & CIVIL WORKS (MODIFY SEDIMENT CONTROL DRAINS TO SUIT CONSTRUCTION.
- PITS & PIPES TO BE PROTECTED WITH FILTER BARRIERS REFER DETAILS
- AT COMPLETION OF ALL WORKS REVEGETATE BATTERS WITHIN 14 DAYS
- AFTER COMPLETION OF BUILDING WORKS, ALL CONTROL MEASURES CAN BE REMOVED.
- ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AT ALL TIMES SO THAT THOSE MEASURES ARE FULLY FUNCTIONAL/OPERATIONAL DURING THE CURRENCY OR WORKS. ALL SUCH CONTROLS MUST ALSO BE FULLY FUNCTIONAL/OPERATIONAL SHOULD WORK OPERATIONS CEASE TEMPORARILY, (e.g. WEEKENDS, ROSTERED DAYS OFF, etc.)
- RESPREAD MATERIAL GAINED DURING MAINTENANCE OPERATION OR AL TERNATIVELY PLACE ON STOCKPILES.
- NON-COMPLIANCE WITH AGREED PERFORMANCE CRITERIA WILL BE IDENTIFIED BY: VISUAL INSPECTIONS IDENTIFYING
 - BUILD-UP OF SEDIMENT OFF THE SITE
 - EXCESSIVE SEDIMENT BUILD-UP ON THE SITE
 - EXCESSIVE EROSION ON THE SITE
 - RELEASE OF CONSTRUCTION MATERIAL FROM THE SITE
 - POOR VEGETATION ESTABLISHMENT
 - POORLY MAINTAINED, DAMAGED OR FAILED ESC DEVICES.
 - DETERIORATED WATER QUALITY IDENTIFIED BY THE ENVIRONMENTAL CONSULTANT AS BEING ATTRIBUTABLE TO THE CONSTRUCTION ACTIVITIES.
- BUILD-UP OF SEDIMENT OFF THE SITE - THE MATERIAL MUST BE COLLECTED AND DISPOSED OF IN A MANNER THAT WILL NOT CAUSE ONGOING ENVIRONMENTAL NUISANCE OR HARM; THEN ON-SITE ESC MEASURES AMENDED, WHERE APPROPRIATE, TO REDUCE THE RISK OF FURTHER EDIMENTATION.
- EXCESSIVE SEDIMENT BUILD-UP ON THE SITE - COLLECT AND DISPOSE OF MATERIAL, THEN AMEND UP-SLOPE DRAINAGE AND/OR EROSION CONTROL MEASURES AS APPROPRIATE TO REDUCE FURTHER OCCURRENCE.
- SEDIMENT FENCE FAILURE - REPLACE AND MONITOR MORE FREQUENTLY. REGULAR FAILURES MAY MEAN THAT THE SEDIMENT FENCE LOCATION, ALIGNMENT OR INSTALLATION MAY NEED TO BE AMENDED.
- IF THE RELEASE OF EXCESSIVE SEDIMENT AND/OR OTHER MATERIALS OFF THE SITE OCCURS, OR WATER QUALITY MONITORING INDICATES LEVELS ARE NOT WITHIN THE WQOS, CLEAN UP DEPOSITION, AND INSPECT ALL CONTROL MEASURES.

MAINTENANCE PROCEDURES DURING CONSTRUCTION

Regulated Design Record				
Project Address: 29-35 LOCHINVAR ROAD REVESBY NSW 2212				
Project Title: Seniors Housing Development				
Consent No: BH27J - ?????		Body Corporate Reg No:		
Drawing Title: OVERALL SITE DRAINAGE PLAN		Drawing No: Sheet 02		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No

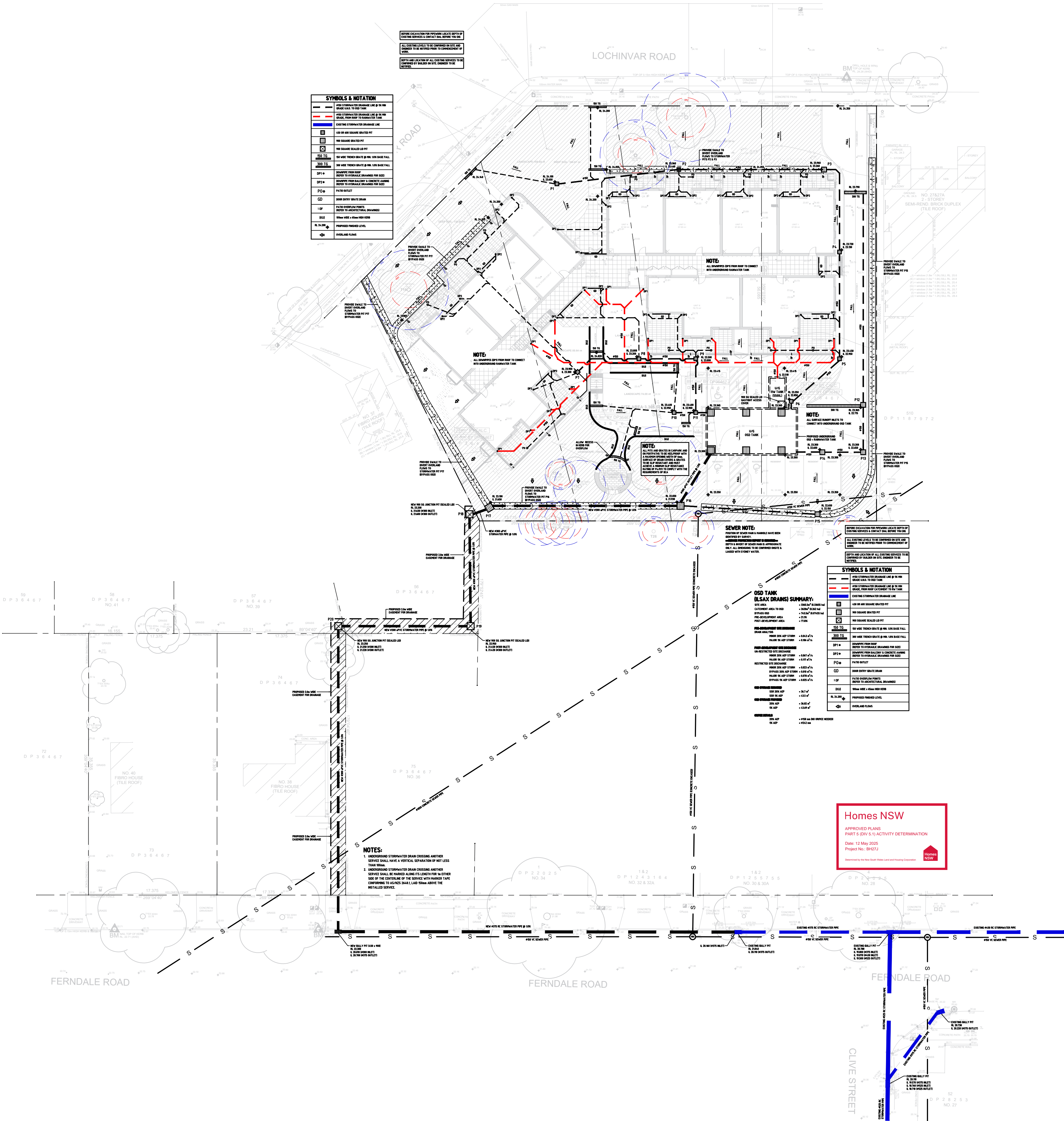
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REV	DATE	NOTATION/AMENDMENT
B	04.10.2024	ISSUED FOR DA
A	22.07.2024	ISSUED FOR DA
P1	21.05.2024	CONCEPT PLAN
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PROJECT MANAGER HOMES NSW PH 1800 738 718	STRUCTURAL / CIVIL / STORMWATER CONSULTANT MSL CONSULTING ENGINEERS PTY LTD PH (02) 4226 5247
ARCHITECT DTA Architects Pty Ltd PH (02) 9601 1011	HYDRAULIC CONSULTANT ABEL & BROWN PTY LTD PH (02) 9709 2105
ELECTRICAL / BASIX CONSULTANT GREENVIEW CONSULTING PTY LTD PH (02) 8544 1683	LANDSCAPE CONSULTANT RAY FUGGLE & ASSOCIATED PTY LTD PH 0412 294 712

PROJECT: SENIORS HOUSING DEVELOPMENT at LOTS 52, 53, 54 & 55 IN DP 36467 29-35 LOCHINVAR ROAD REVESBY NSW 2212

TITLE: OVERALL SITE DRAINAGE PLAN		STATUS: DA ISSUE	
DATE: 04/10/24	SCALE: 1:300 @ A1	PROJ: BH27J	JOB: 23208
STAGE: B	DRAWN: WT	CHECKED: MP	CERTIFIER: MP
FILE:	PLOTTED: 04/10/2024	TYPE: SW	SHEET: 2 of 17
		REV: B	



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Regulated Design Record

Project Address: 29-35 LOCHINVAR ROAD REVESBY NSW 2212

Drawing Title: OSD CATCHMENT AREA

Consent No: BH27J - ?????

Drawing No: Sheet 03

Rev	Date dd.mm.yy	Description	DP Full Name	Reg No



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BEFORE EXCAVATION FOR PIPEWORK LOCATE DEPTH OF EXISTING SERVICES & CONTACT DIAL BEFORE YOU DIG

ALL EXISTING LEVELS TO BE CONFIRMED ON SITE AND ENGINEER TO BE NOTIFIED PRIOR TO COMMENCEMENT OF WORK.

DEPTH AND LOCATION OF ALL EXISTING SERVICES TO BE CONFIRMED BY BUILDER ON SITE. ENGINEER TO BE NOTIFIED.

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DEPTH AND LOCATION OF ALL EXISTING SERVICES TO BE CONFIRMED BY BUILDER ON SITE. ENGINEER TO BE NOTIFIED.

LOCHINVAR ROAD

WILMSHURST ROAD

STORMWATER MANAGEMENT PLAN

Homes NSW

APPROVED PLANS
PART 5 (DIV 5.1) ACTIVITY DETERMINATION
Date: 12 May 2020
Project No. (B47)


NOTE:
ALL DOWNPIPES (DP1) FROM ROOF TO CONNECT INTO UNDERGROUND RAINWATER TANK

NOTE:
PROVIDE SWALE TO DIVERT OVERLAND FLOWS TO STORMWATER PIT P17 (BYPASS OSD)

NOTE:
PROVIDE SWALE TO DIVERT OVERLAND FLOWS TO STORMWATER PIT P15 (BYPASS OSD)

NOTE:
ALL SURFACE RUNOFF INLETS TO

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REV	DATE	NOTATION/AMENDMENT

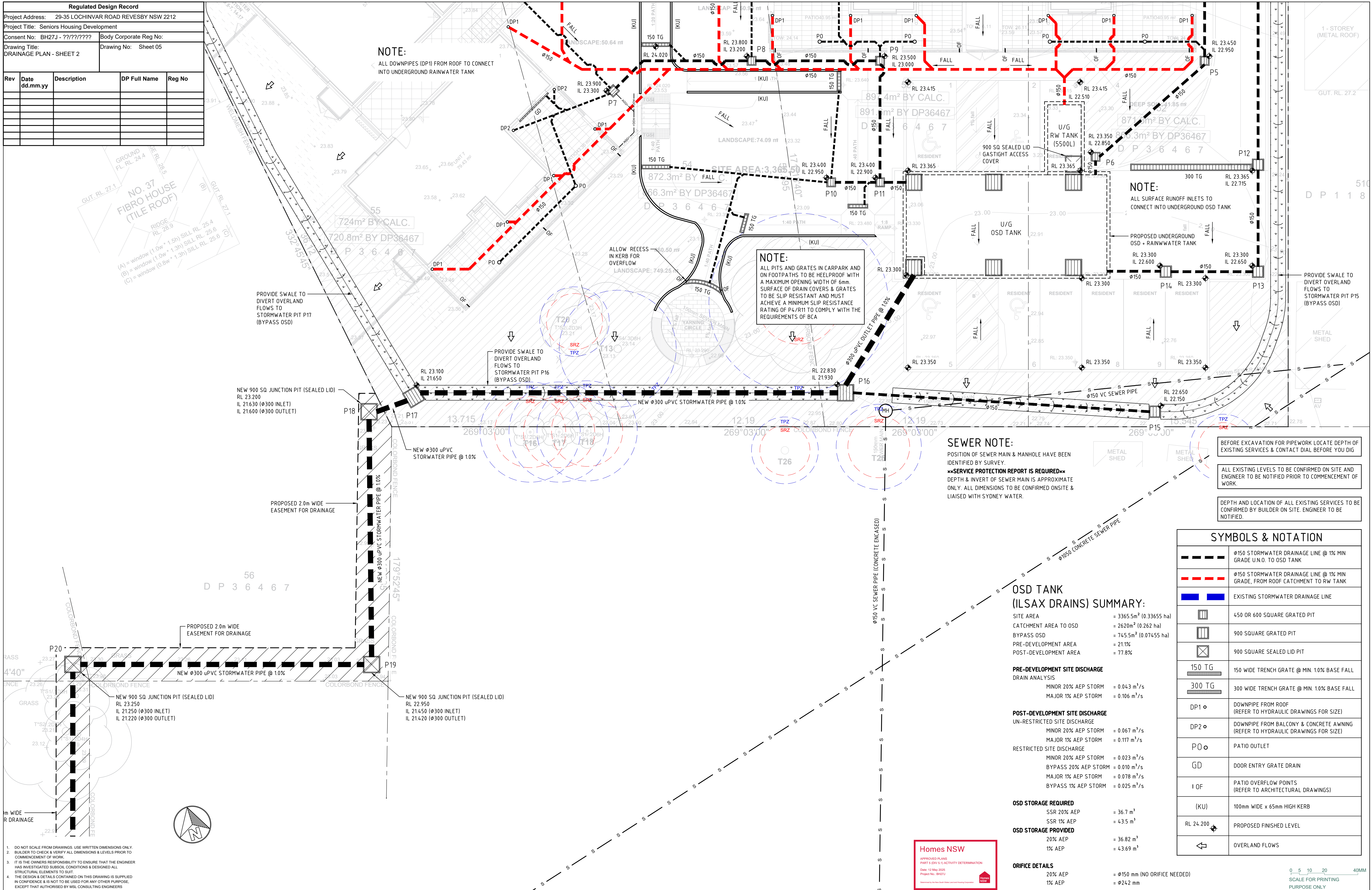
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
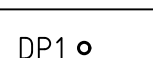
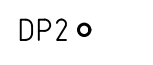


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ARCHITECT DTA Architects Pty Ltd PH (02) 9601 1011	HYDRAULIC CONSULTANT ABEL & BROWN PTY LTD PH (02) 9709 5705
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at
LOTS 52, 53, 54 & 55 IN DP 36467
29-35 LOCHINVAR ROAD
REVESBY NSW 2212

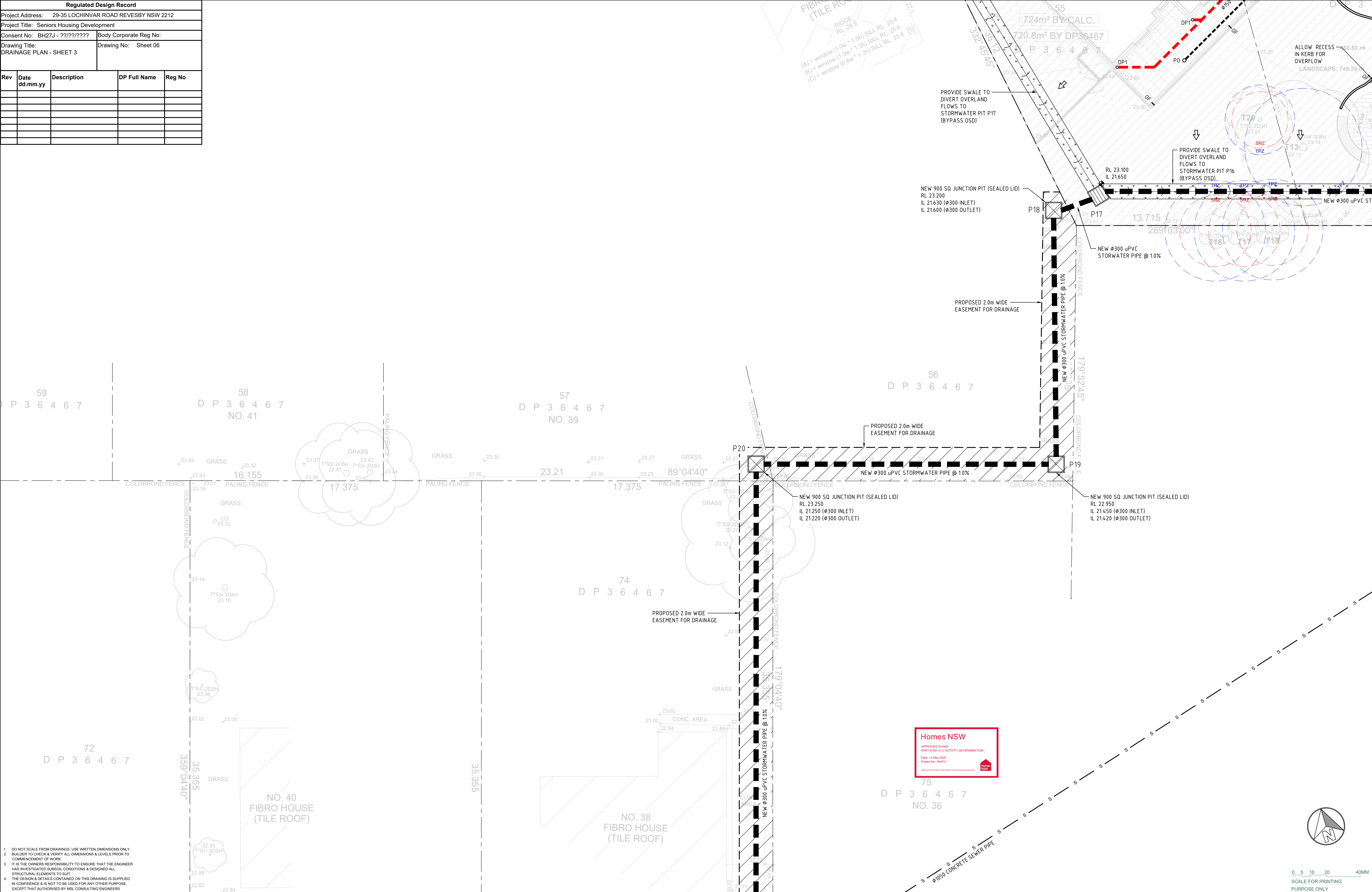
DRAINAGE PLAN - SHEET 1		DATE:		SCALE:	PROJ:	JOB:
		04/10/24	1:100 @ A1	BH27J	23208	
STAGE:		DRAWN:	CHECKED:	CERTIFIER:		
B		WT	MP	MP		
FILE:	PLOTTED: 04/10/2024	TYPE:	SHEET: 4 of 17	REV: B		

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SYMBOLS & NOTATION	
	Ø150 STORMWATER DRAINAGE LINE @ 1% MIN GRADE U.N.O. TO OSD TANK
	Ø150 STORMWATER DRAINAGE LINE @ 1% MIN GRADE, FROM ROOF CATCHMENT TO RW TANK
	EXISTING STORMWATER DRAINAGE LINE
	450 OR 600 SQUARE GRATED PIT
	900 SQUARE GRATED PIT
	900 SQUARE SEALED LID PIT
	150 WIDE TRENCH GRATE @ MIN. 10% BASE FALL
	300 WIDE TRENCH GRATE @ MIN. 10% BASE FALL
DP1 ○	DOWNPIPE FROM ROOF (REFER TO HYDRAULIC DRAWINGS FOR SIZE)
DP2 ○	DOWNPIPE FROM BALCONY & CONCRETE AWNING (REFER TO HYDRAULIC DRAWINGS FOR SIZE)
P0 ○	PATIO OUTLET
GD	DOOR ENTRY GRATE DRAIN
1 OF	PATIO OVERFLOW POINTS (REFER TO ARCHITECTURAL DRAWINGS)
(KU)	100mm WIDE x 65mm HIGH KERB
RL 24.200 	PROPOSED FINISHED LEVEL
	OVERLAND FLOWS

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		B	04.10.2024	ISSUED FOR DA	ARCHITECT DTA Architects Pty Ltd PH (02) 9503 1011	HYDRAULIC CONSULTANT ABEL & BROWN PTY LTD PH (02) 9708 0105	at LOTS 52, 53, 54 & 55 IN DP 36467 29-35 LOCHINVAR ROAD REVEBSBY NSW 2212	DATE: 04/10/24	SCALE: 1:100 @ A1	PROJ: BH27J	JOB: 23208	
		A	22.07.2024	ISSUED FOR DA				STAGE: B	DRAWN: WT	CHECKED: MP	CERTIFIED: MP	
		P1	21.05.2024	CONCEPT PLAN								
		REV	DATE	NOTATION/AMENDMENT								
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Regulated Design Record				
Project Address: 29-35 LOCHINVAR ROAD REVESBY NSW 2212				
Project Title: Seniors Housing Development				
Consent No: BH27J - ?????		Body Corporate Reg No:		
Drawing Title: DRAINAGE PLAN - SHEET 3		Drawing No: Sheet 06		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No



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LANDSCAPE CONSULTANT
RAY FUGGLE & ASSOCIATED PTY LTD
PH 0412 294 712

BUSINESS PARTNER:




PROJECT:
SENIORS HOUSING DEVELOPMENT

at
LOTS 52, 53, 54 & 55 IN DP 36467
29-35 LOCHINVAR ROAD
REVESBY NSW 2212

TITLE:
DRAINAGE PLAN - SHEET 3

FILE:

STATUS: **DA ISSUE**

DATE: **04/10/24** SCALE: **1:100 @ A1** PROJ: **BH27J** JOB: **23208**

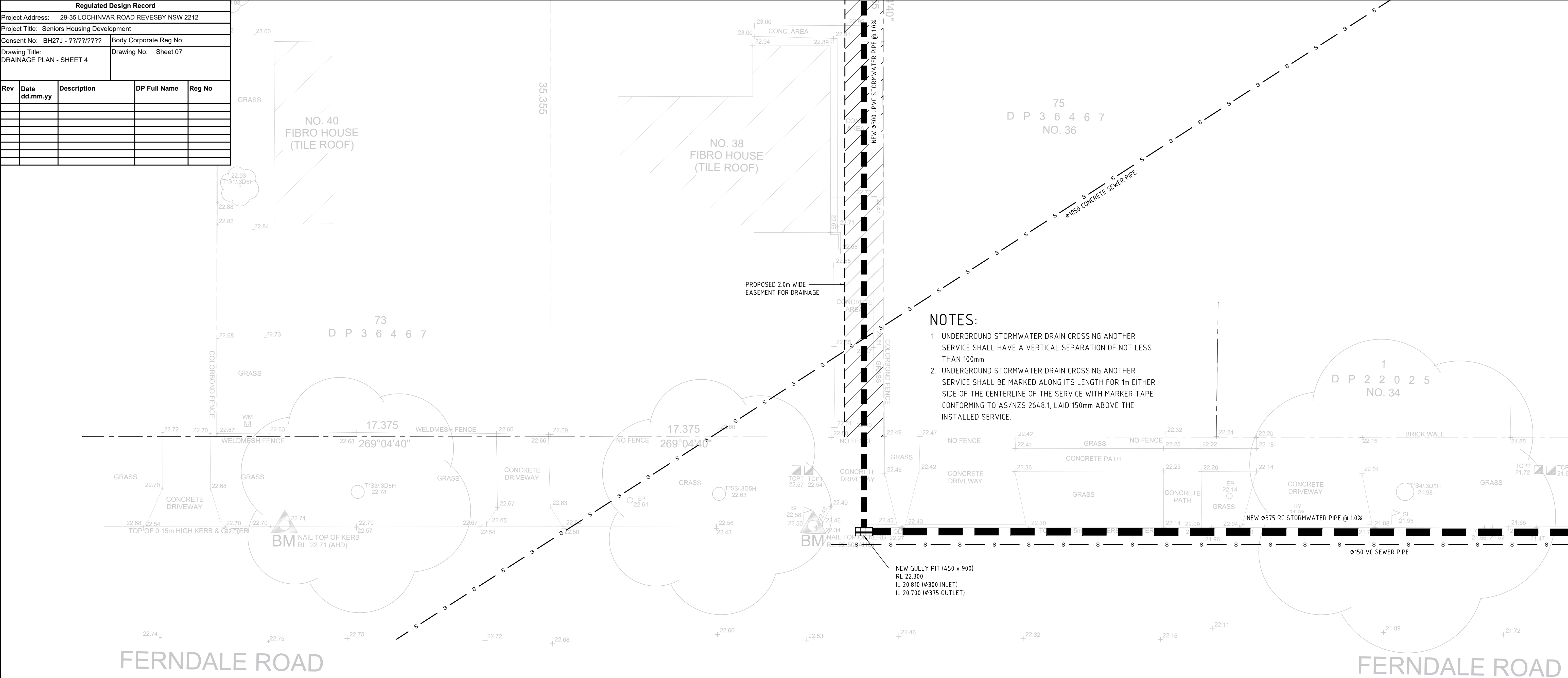
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TYPE: **SW** SHEET: **6 of 17** REV: **B**

DATE: **04/10/2024**


TYPE: **SW**

Regulated Design Record				
Project Address: 29-35 LOCHINVAR ROAD REVESBY NSW 2212				
Project Title: Seniors Housing Development				
Consent No: BH27J - ?17?17???		Body Corporate Reg No:		
Drawing Title: DRAINAGE PLAN - SHEET 4		Drawing No: Sheet 07		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No



- NOTES:
- UNDERGROUND STORMWATER DRAIN CROSSING ANOTHER SERVICE SHALL HAVE A VERTICAL SEPARATION OF NOT LESS THAN 100mm.
 - UNDERGROUND STORMWATER DRAIN CROSSING ANOTHER SERVICE SHALL BE MARKED ALONG ITS LENGTH FOR 1m EITHER SIDE OF THE CENTERLINE OF THE SERVICE WITH MARKER TAPE CONFORMING TO AS/NZS 2648.1, LAID 150mm ABOVE THE INSTALLED SERVICE.

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P1	21.05.2024	CONCEPT PLAN

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BUSINESS PARTNER:




Homes NSW
APPROVED PLANS
PART 5 (DIV 5.1) ACTIVITY DETERMINATION
Date: 12 May 2025
Project No: BH27J


PROJECT:
SENIORS HOUSING DEVELOPMENT

at
LOTS 52, 53, 54 & 55 IN DP 36467
29-35 LOCHINVAR ROAD
REVESBY NSW 2212

TITLE:
DRAINAGE PLAN - SHEET 4

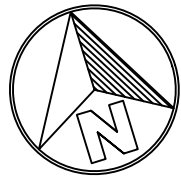
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PLOTTED:
04/10/2024

STATUS:
DA ISSUE
DATE: 04/10/24
STAGE: B
TYPE: SW

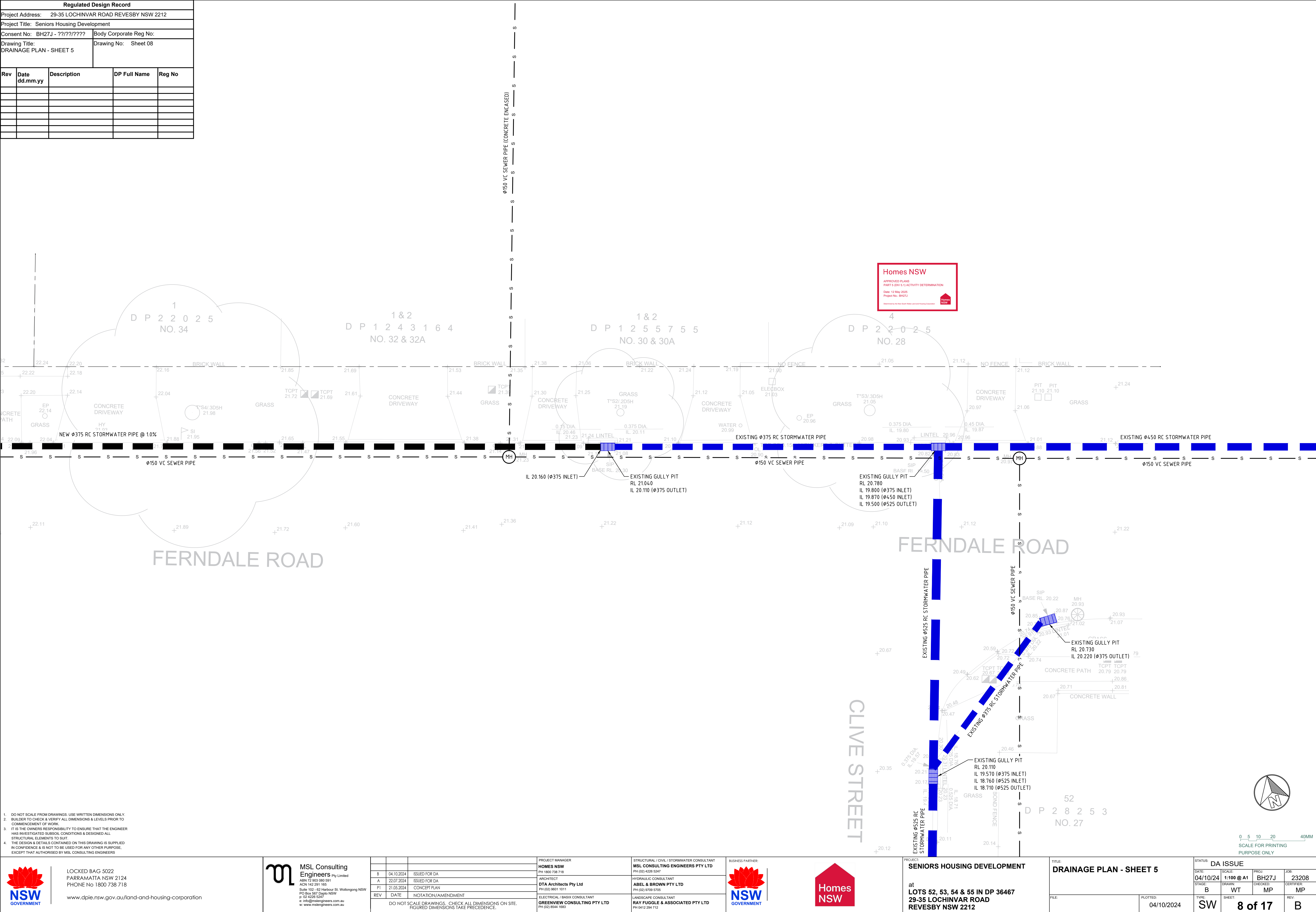
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DRAWN: WT
SHEET: 7 of 17

PROJ: BH27J
JOB: 23208
CHECKED: MP
CERTIFIER: MP
REV: B



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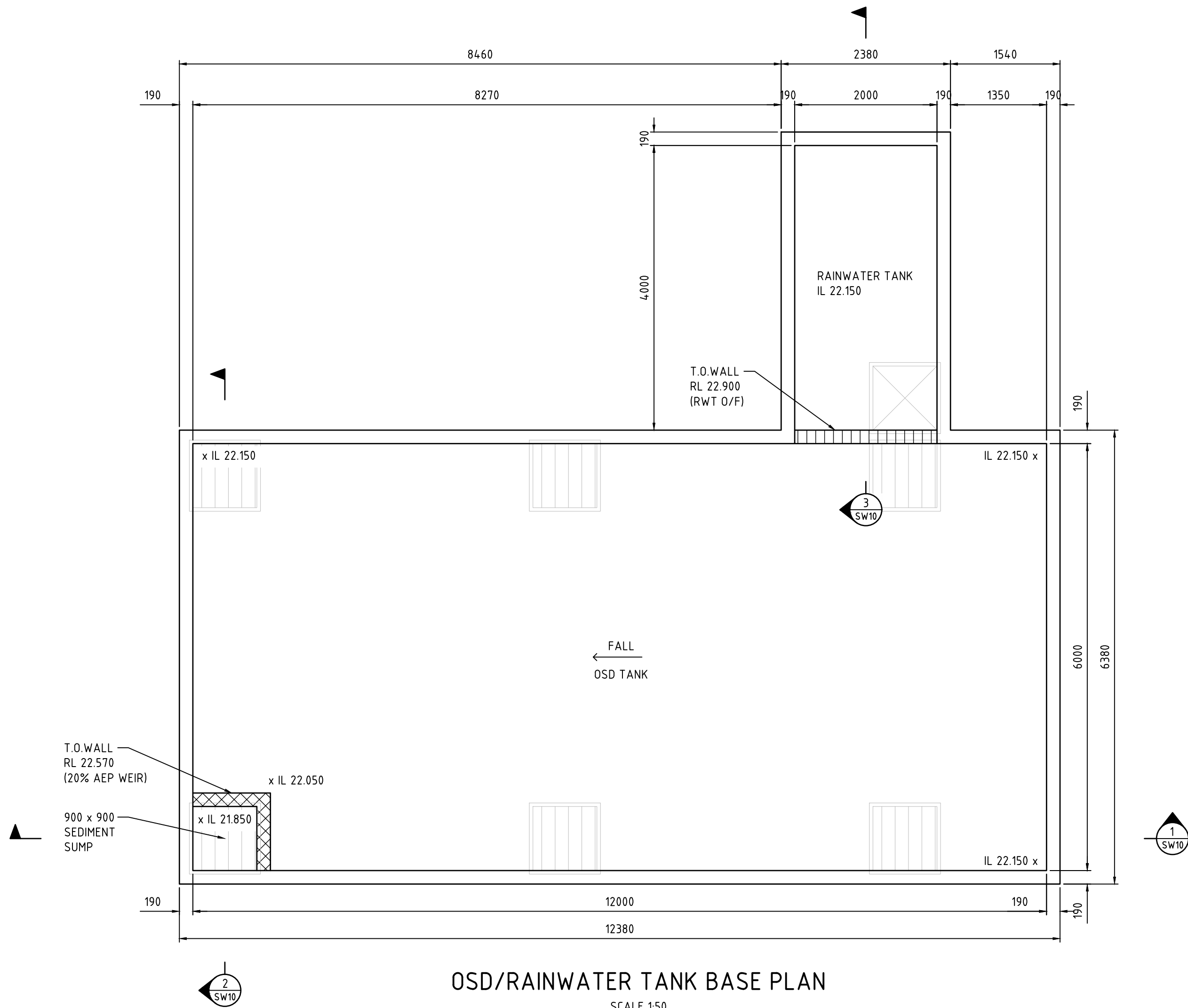
Regulated Design Record				
Project Address: 29-35 LOCHINVAR ROAD REVESBY NSW 2212				
Project Title: Seniors Housing Development				
Consent No: BH27J - ?1?1?1?1?1?		Body Corporate Reg No:		
Drawing Title: DRAINAGE PLAN - SHEET 5		Drawing No: Sheet 08		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No



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			B	04.10.2024	ISSUED FOR DA	ARCHITECT DTA Architects Pty Ltd PH (02) 9601 1011	HYDRAULIC CONSULTANT ABEL & BROWN PTY LTD PH (02) 9709 5105						DATE: 04/10/24	SCALE: 1:100 @ A1	PROJ: BH27J	JOB: 23208
			A	22.07.2024	ISSUED FOR DA								STAGE: B	DRAWN: WT	CHECKED: MP	CERTIFIED: MP
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			REV	DATE	NOTATION/AMENDMENT											
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Regulated Design Record				
Project Address: 29-35 LOCHINVAR ROAD REVESBY NSW 2212				
Project Title: Seniors Housing Development				
Consent No: BH27J - ?????????		Body Corporate Reg No:		
Drawing Title: OSD/RAINWATER TANK BASE PLAN		Drawing No: Sheet 09		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No



OSD/RAINWATER TANK BASE PLAN
SCALE 1:50

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B	04.10.2024	ISSUED FOR DA
A	22.07.2024	ISSUED FOR DA
P1	21.05.2024	CONCEPT PLAN

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.

PROJECT MANAGER HOMES NSW PH 1800 738 718	ARCHITECT DTA Architects Pty Ltd PH (02) 9601 1011	ELECTRICAL / BASIX CONSULTANT GREENVIEW CONSULTING PTY LTD PH (02) 8544 1683
--------------------------------------------------------	-----------------------------------------------------------------	-------------------------------------------------------------------------------------------

STRUCTURAL / CIVIL / STORMWATER CONSULTANT MSL CONSULTING ENGINEERS PTY LTD PH (02) 4226 5247	HYDRAULIC CONSULTANT ABEL & BROWN PTY LTD PH (02) 9709 5105	LANDSCAPE CONSULTANT RAY FUGGLE & ASSOCIATED PTY LTD PH 0412 294 712
------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------	---------------------------------------------------------------------------------------





Homes NSW
APPROVED PLANS
PART 5 (DIV 5.1) ACTIVITY DETERMINATION
Date: 12 May 2025
Project No: BH27J


PROJECT:
SENIORS HOUSING DEVELOPMENT

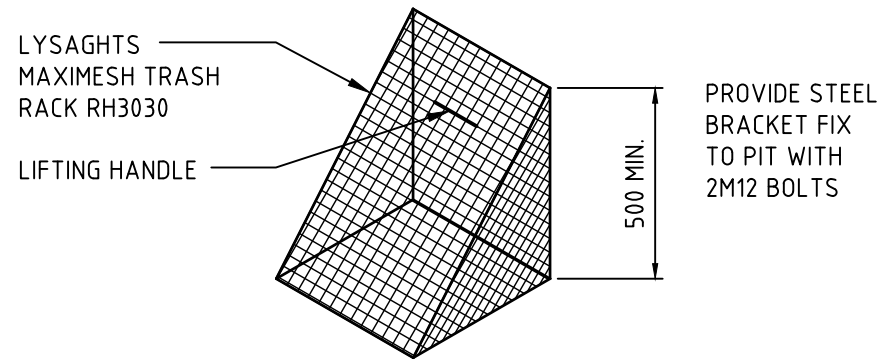
at
LOTS 52, 53, 54 & 55 IN DP 36467
29-35 LOCHINVAR ROAD
REVESBY NSW 2212

TITLE: OSD/RAINWATER TANK BASE PLAN		STATUS: DA ISSUE	
DATE: 04/10/24	SCALE: 1:50 @ A1	PROJ: BH27J	JOB: 23208
STAGE: B	DRAWN: WT	CHECKED: MP	CERTIFIED: MP
FILE:	PLOTTED: 04/10/2024	TYPE: SW	SHEET: 9 of 17
			REV: B



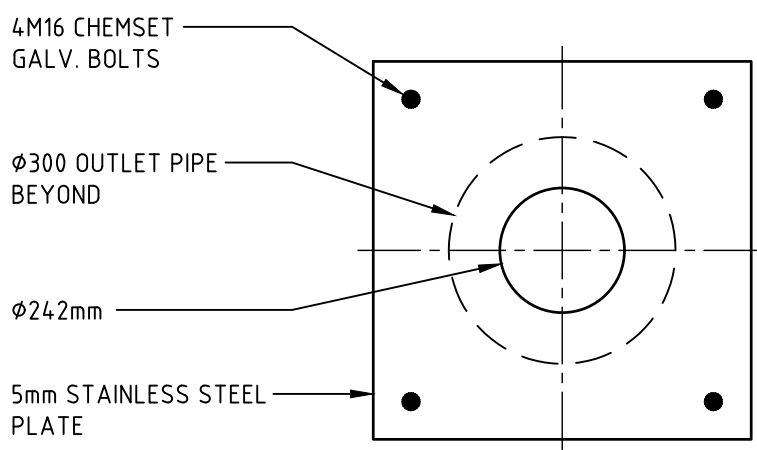
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SCALE FOR PRINTING
PURPOSE ONLY

Regulated Design Record				
Project Address: 29-35 LOCHINVAR ROAD REVESBY NSW 2212				
Project Title: Seniors Housing Development				
Consent No: BH27J - ?????		Body Corporate Reg No:		
Drawing Title: OSD/RAINWATER SECTIONS & STORMWATER DETAILS		Drawing No: Sheet 10		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No



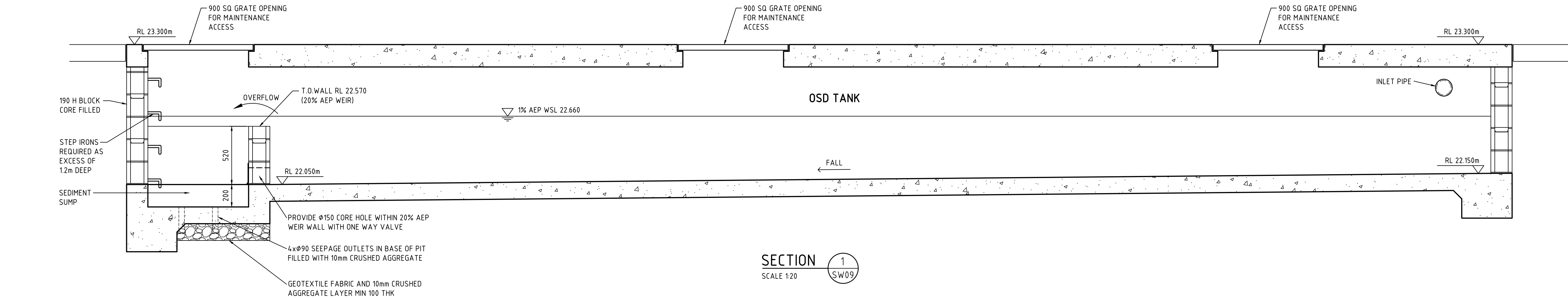
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NOT TO SCALE
GALVANISED LYSAGHT RH3030MAXI
SCREEN IN GALVANISED STEL FRAME WITH
LIFTING HANDLES

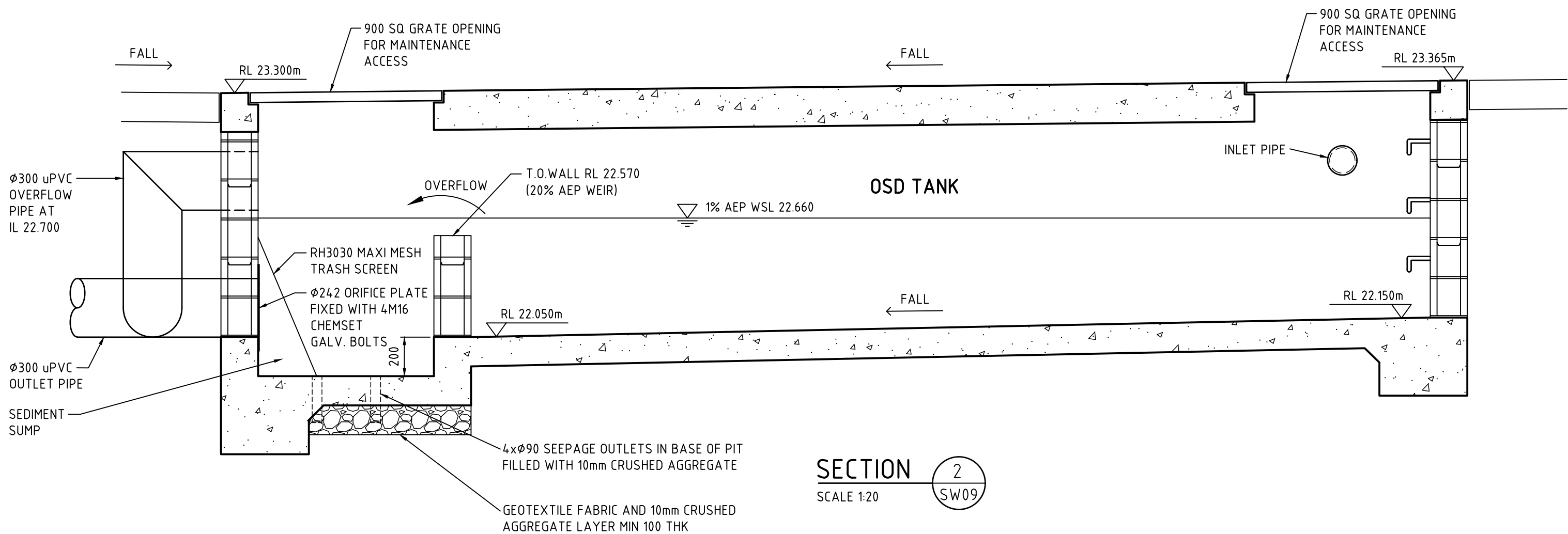


1% AEP - ORIFICE PLATE DETAIL

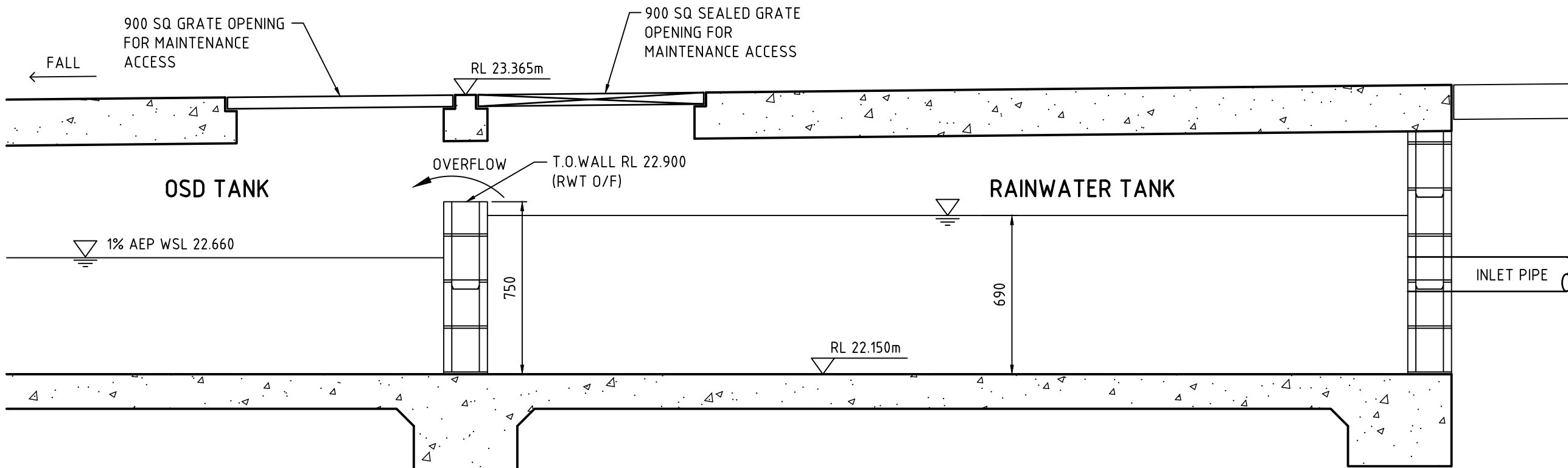
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SECTION 1
SCALE 1:20
SW09



SECTION 2
SCALE 1:20
SW09



SECTION 3
SCALE 1:20
SW09

- DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
- BUILDER TO CHECK & VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK.
- IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL STRUCTURAL ELEMENTS TO SUIT.
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MSL Consulting Engineers Pty Limited
ABN 72 903 080 591
ACN 142 291 195
Suite 102 - 62 Harbour St. Wollongong NSW
PO Box 567 Dapto NSW
p 02 4228 5247
e info@mslengineers.com.au
w www.mslengineers.com.au

REV	DATE	NOTATION/AMENDMENT
B	04.10.2024	ISSUED FOR DA
A	22.07.2024	ISSUED FOR DA
P1	21.05.2024	CONCEPT PLAN
REV	DATE	NOTATION/AMENDMENT
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

PROJECT MANAGER
HOMES NSW
PH 1800 738 718
ARCHITECT
DTA Architects Pty Ltd
PH (02) 9601 1011
ELECTRICAL / BASIC CONSULTANT
GREENVIEW CONSULTING PTY LTD
PH (02) 8544 1883

STRUCTURAL / CIVIL / STORMWATER CONSULTANT
MSL CONSULTING ENGINEERS PTY LTD
PH (02) 4226 5247
HYDRAULIC CONSULTANT
ABEL & BROWN PTY LTD
PH (02) 9709 5105
LANDSCAPE CONSULTANT
RAY FUGGLE & ASSOCIATED PTY LTD
PH 0412 294 712



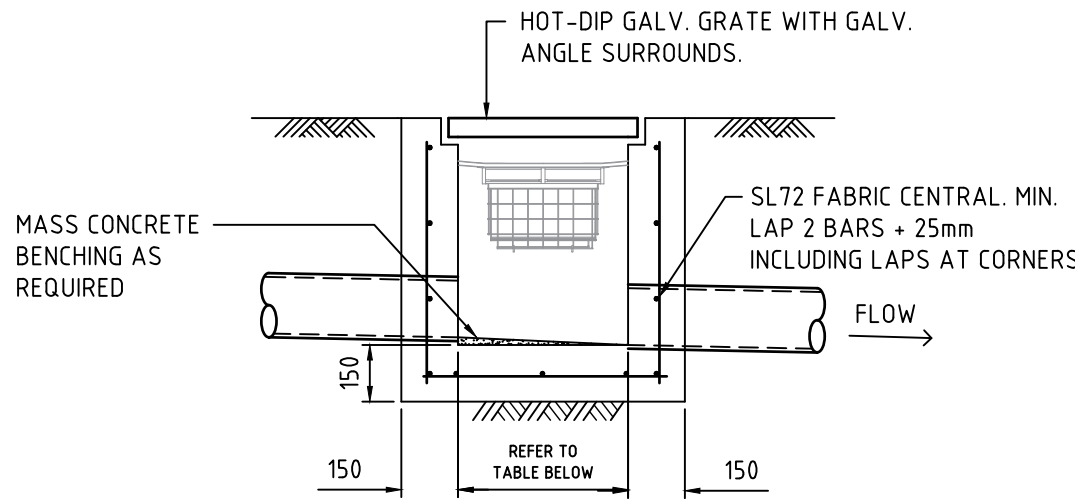
PROJECT:
SENIORS HOUSING DEVELOPMENT
at
LOTS 52, 53, 54 & 55 IN DP 36467
29-35 LOCHINVAR ROAD
REVESBY NSW 2212

TITLE:
OSD/RAINWATER SECTIONS & STORMWATER DETAILS

FILE: PLOTTED: 04/10/2024

STATUS: DA ISSUE			
DATE: 04/10/24	SCALE: 1:20 @ A1	PROJ: BH27J	JOB: 23208
STAGE: B	DRAWN: WT	CHECKED: MP	CERTIFIER: MP
TYPE: SW	SHEET: 10 of 17	REV: B	

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SCALE FOR PRINTING
PURPOSE ONLY

[illegible]

TYPICAL SURFACE INLET PIT
-NATURAL SURFACE
NOT TO SCALE

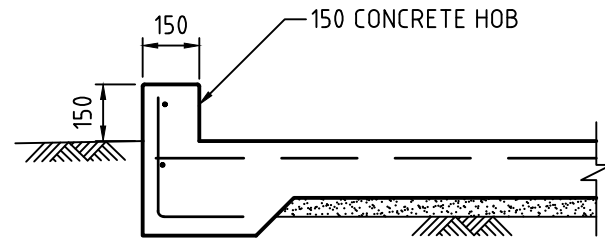
NOTES :

ALTERNATIVE PIT CONSTRUCTION MAY BE USED, SUBJECT TO THE ENGINEERS APPROVAL

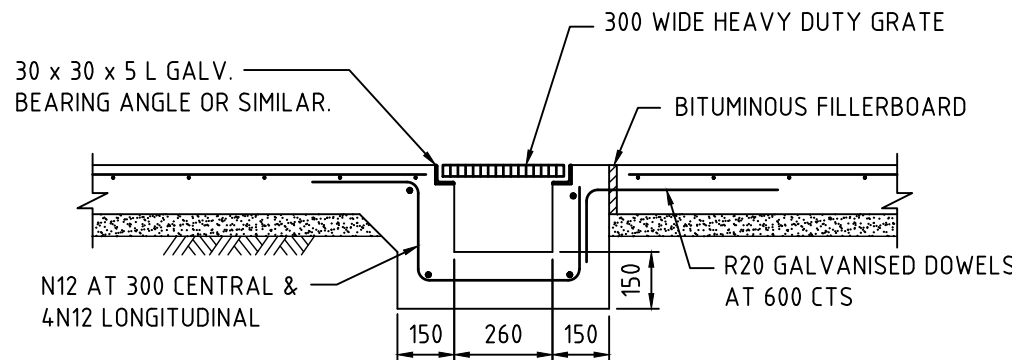
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Depth to Invert	Pit Internal Dimensions
≤600	450x450
>600 ≤900	600x600
>900 ≤1200	600x900
>1200	900x900

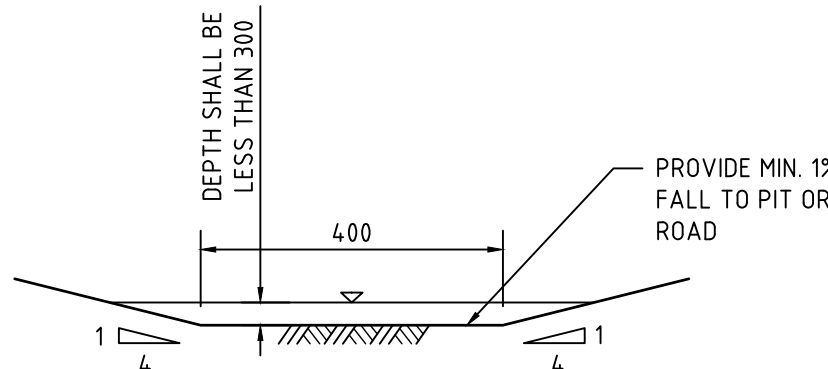
2. PROVIDE STEP IRONS UNDER LID AT 300 CTS. TO COUNCIL SPECIFICATIONS WHERE PIT DEPTH IS DEEPER THAN 900mm.
3. REINFORCEMENT NOTED IS ONLY REQUIRED FOR PITS EXCEEDING 900 DEEP. SUBJECT TO COUNCIL REQUIREMENTS. PITS GREATER THAN 2500 mm DEEP WILL REQUIRE STRUCTURAL ENGINEER'S DESIGN.
4. PROVIDE $\phi 90 \times 3000$ LONG SUBSOIL DRAINAGE SUB PIPE SURROUNDED WITH 100mm THICKNESS OF NOMINAL 20mm COARSE FILTER MATERIAL WRAPPED IN GEOTEXTILE FILTER FABRIC (BIDIM A24 OR APPROVED SIMILAR), TO BE PARALLEL TO UPSTREAM SIDE OF EACH INLET PIPE.
5. ALTERNATIVE PIT CONSTRUCTION MAY BE USED SUBJECT TO THE ENGINEERS APPROVAL.
6. CONCRETE STRENGTH $f'c = 32 \text{ MPa}$



TYP DRIVEWAY 150 HOBB
DETAIL
NOT TO SCALE

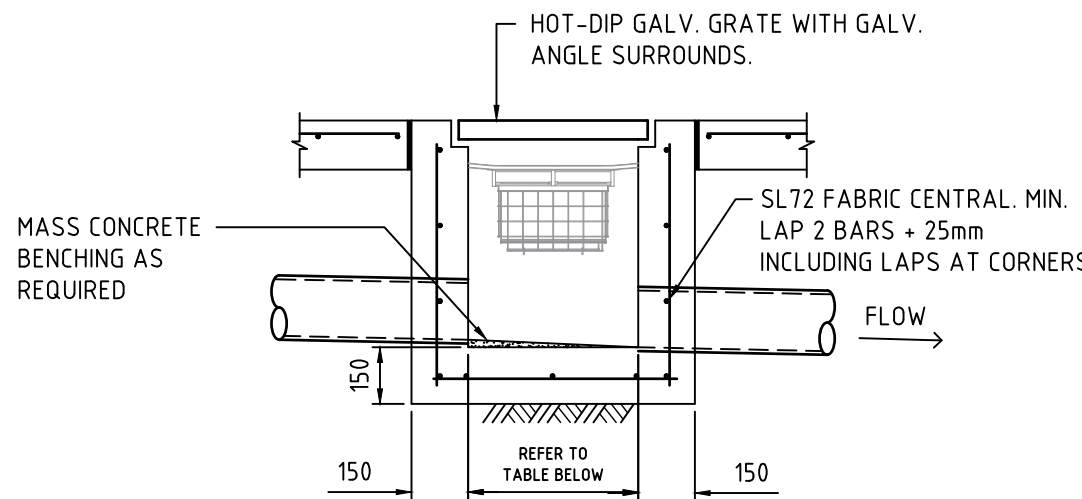


TYPICAL GRATED DRAIN DETAIL
NOT TO SCALE



TYPICAL SWALE DETAIL

NOTE:
SWALE FINAL DESIGN TO BE CONFIRMED AT CC STAGE



TYPICAL SURFACE INLET PIT
-CONCRETE SURFACE
NOT TO SCALE

NOTES :

ALTERNATIVE PIT CONSTRUCTION MAY BE USED, SUBJECT TO THE ENGINEERS APPROVAL

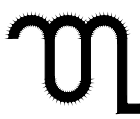
- 1.

Depth to Invert	Pit Internal Dimensions
≤600	450x450
>600 ≤900	600x600
>900 ≤1200	600x900
>1200	900x900

2. PROVIDE STEP IRONS UNDER LD AT 300 CTS. TO COUNCIL SPECIFICATIONS WHERE PIT DEPTH IS DEEPER THAN 900mm.
3. REINFORCEMENT NOTED IS ONLY REQUIRED FOR PITS EXCEEDING 900 DEEP. SUBJECT TO COUNCIL REQUIREMENTS. PITS GREATER THAN 2500 mm DEEP WILL REQUIRE STRUCTURAL ENGINEER'S DESIGN.
4. PROVIDE $\phi 90 \times 3000$ LONG SUBSOIL DRAINAGE STUB PIPE SURROUNDED WITH 100mm THICKNESS OF NOMINAL 20mm COARSE FILTER MATERIAL WRAPPED IN GEOTEXTILE FILTER FABRIC (BIDIM A24 OR APPROVED SIMILAR), TO BE PARALLEL TO UPSTREAM SIDE OF EACH INLET PIPE.
5. ALTERNATIVE PIT CONSTRUCTION MAY BE USED SUBJECT TO THE ENGINEERS APPROVAL.
6. CONCRETE STRENGTH $f'c = 32 \text{ MPa}$

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ACN 142 291 165
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e: info@mslengineers.com.au
w: www.mslengineers.com.au

B	04.10.2024	ISSUED FOR DA
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P1	21.05.2024	CONCEPT PLAN
REV	DATE	NOTATION/AMENDMENT
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PROJECT MANAGER HOMES NSW PH 1800 738 718
ARCHITECT DTA Architects P PH (02) 9601 1011
ELECTRICAL / BASIX GREENVIEW CO PH (02) 8544 1683

<p>STRUCTURAL / CIVIL / STORMWATER CONSULTANT</p> <p>MSL CONSULTING ENGINEERS PTY LTD</p> <p>PH (02) 4226 5247</p>
<p>HYDRAULIC CONSULTANT</p> <p>ABEL & BROWN PTY LTD</p> <p>PH (02) 9709 5705</p>
<p>LANDSCAPE CONSULTANT</p> <p>RAY FUGGLE & ASSOCIATED PTY LTD</p> <p>PH (0412) 294 712</p>

BUSINESS PARTNER:



NSW
GOVERNMENT



Homes NSW

APPROVED PLANS PART 5 (DIV 5.1) ACTIVITY DETERMINATION

Date: 12 May 2025
Project No.: BH27J

Determined by the New South Wales Land and Housing Corporation

PROJECT:
SENIORS HOUSING DEVELOPMENT

at
LOTS 52, 53, 54 & 55 IN DP 36467
29-35 LOCHINVAR ROAD
REVESBY NSW 2212

TITLE: **STORMWATER DETAILS**

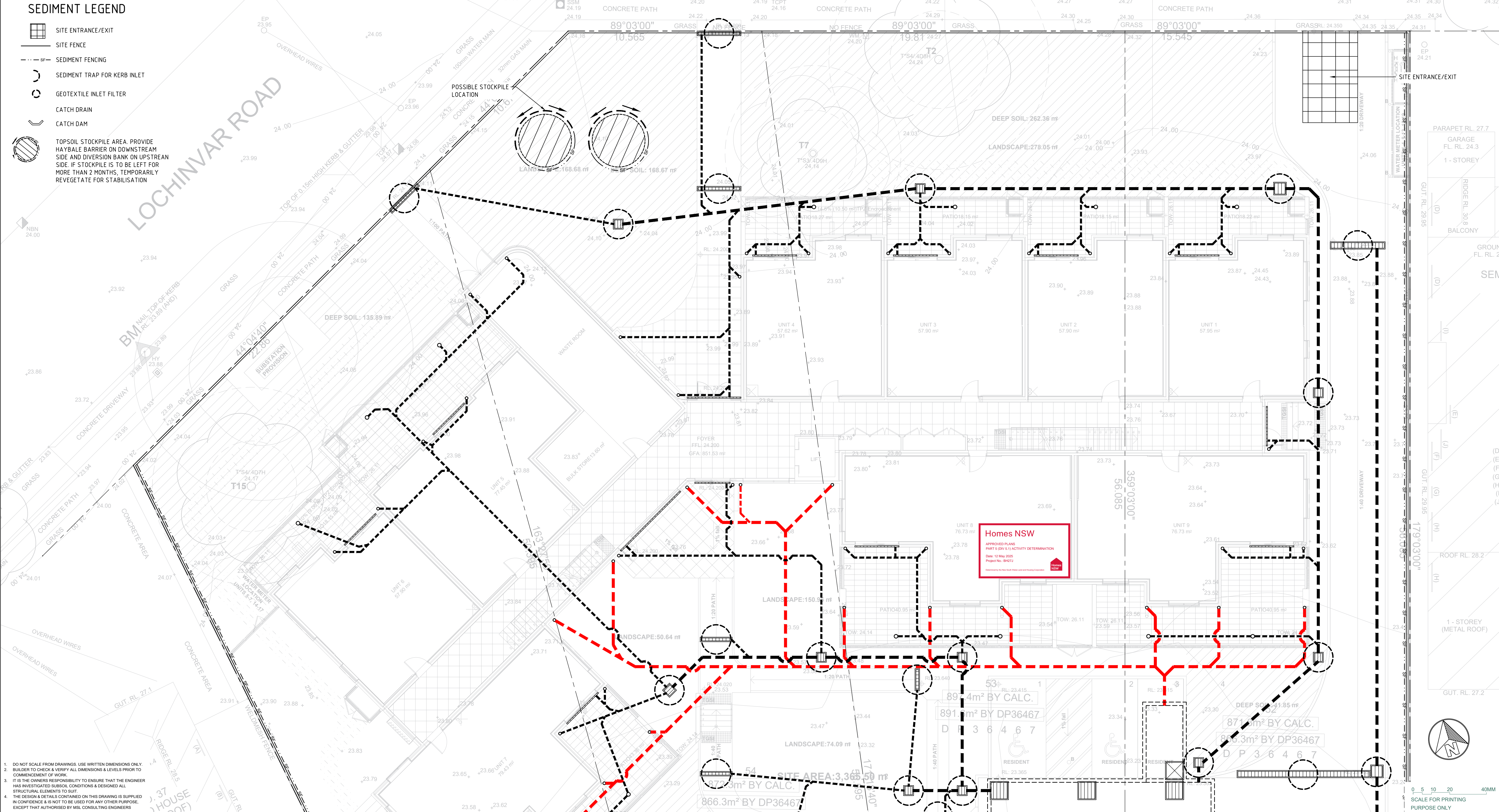
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STATUS: DA ISSUE

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STAGE: B	DRAWN: WT	CHECKED: MP	CERTIFIER: MP

TYPE: SW	SHEET: 11 of 17	REV: B
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Regulated Design Record				
Project Address: 29-35 LOCHINVAR ROAD REVESBY NSW 2212				
Project Title: Seniors Housing Development				
Consent No: BH27J - ?1?1?1?1?1?		Body Corporate Reg No:		
Drawing Title: SEDIMENT CONTROL PLAN - SHEET 1		Drawing No: Sheet 12		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No



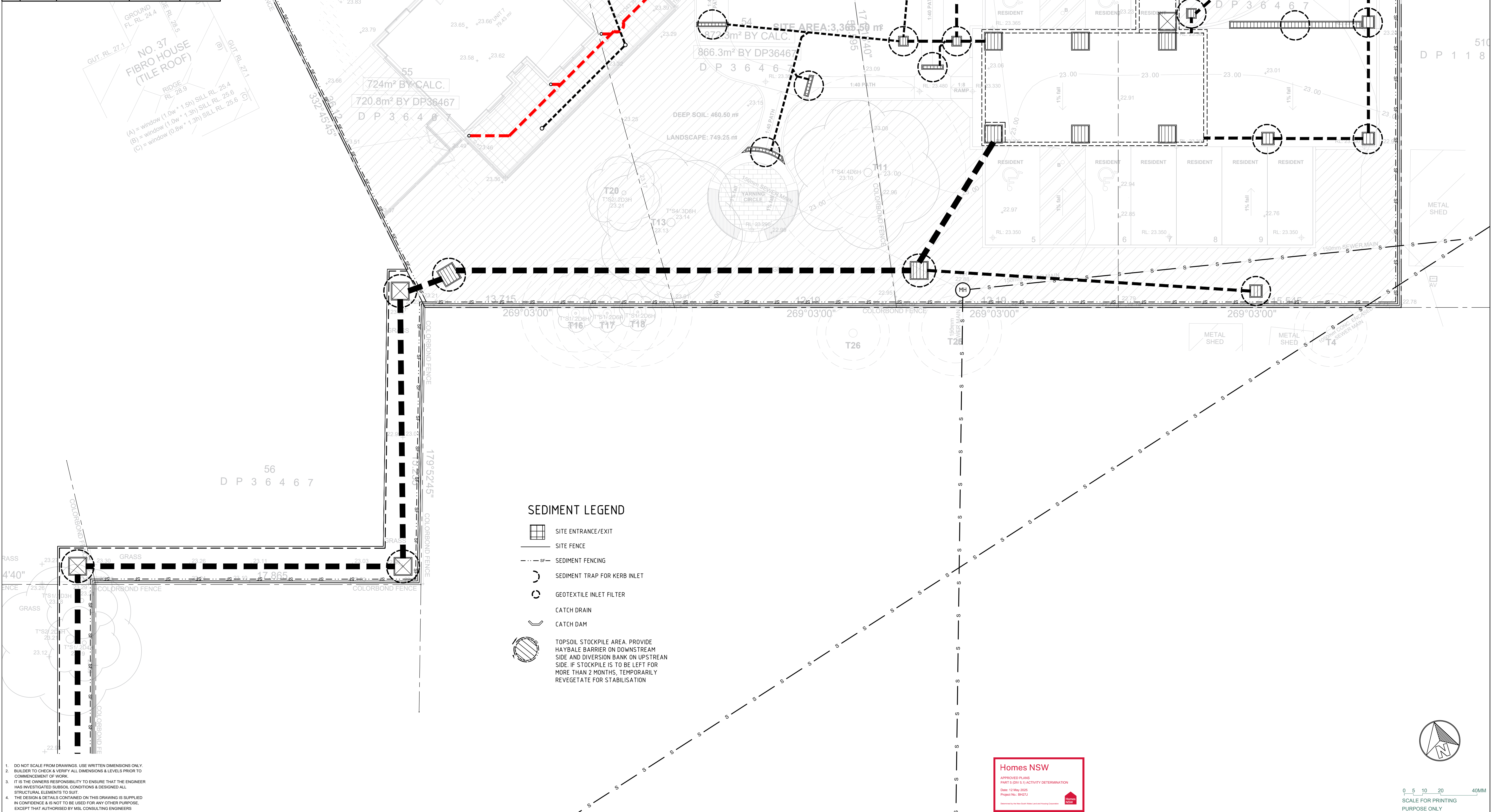
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REV	DATE	NOTATION/AMENDMENT
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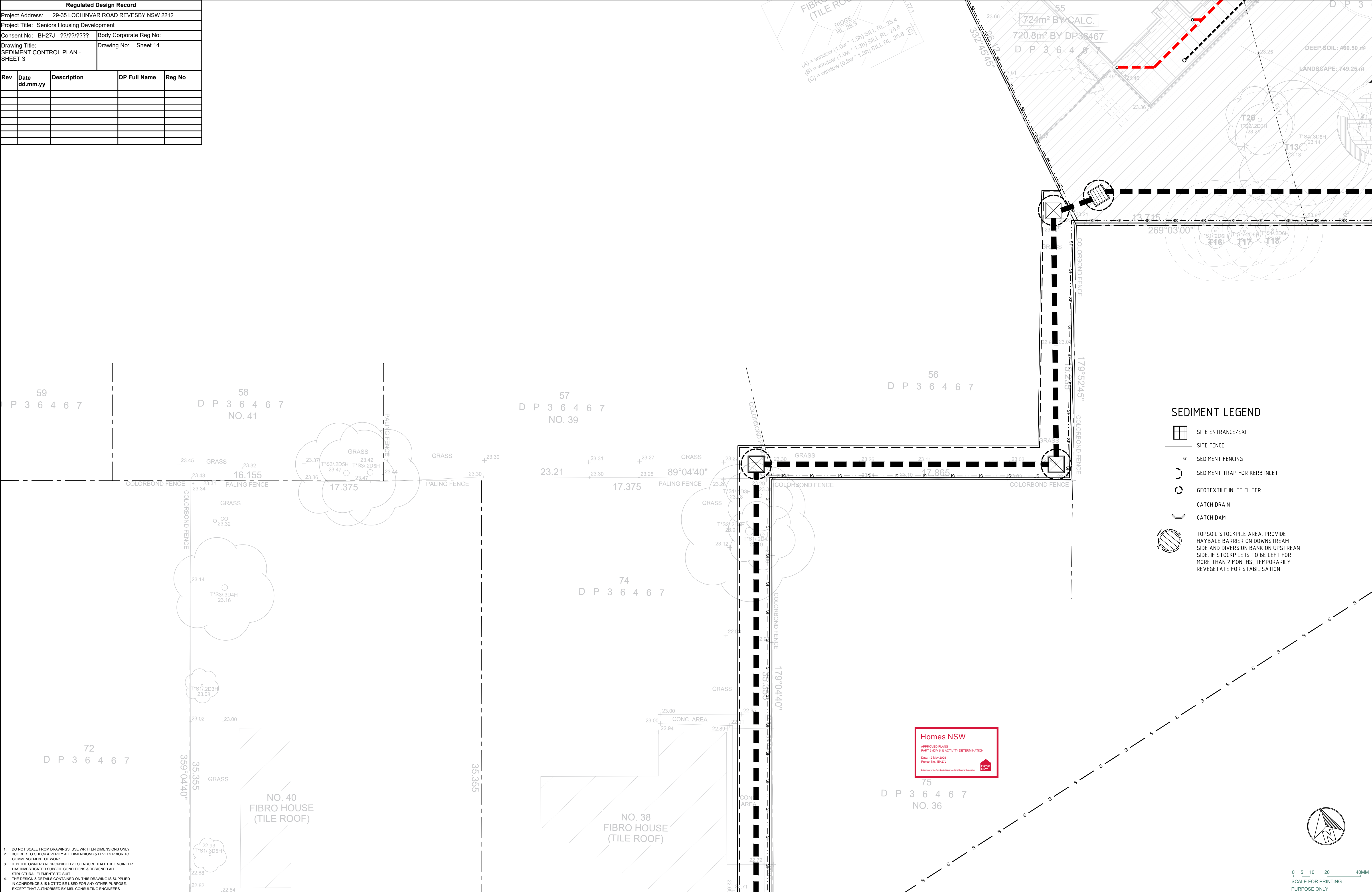
PROJECT MANAGER HOMES NSW PH 1800 738 718	ARCHITECT DTA Architects Pty Ltd PH (02) 9601 1011	ELECTRICAL / BASIC CONSULTANT GREENVIEW CONSULTING PTY LTD PH (02) 8544 1683
--------------------------------------------------------	-----------------------------------------------------------------	-------------------------------------------------------------------------------------------

STRUCTURAL / CIVIL / STORMWATER CONSULTANT MSL CONSULTING ENGINEERS PTY LTD PH (02) 4226 5247	HYDRAULIC CONSULTANT ABEL & BROWN PTY LTD PH (02) 9709 2016	LANDSCAPE CONSULTANT RAY FUGGLE & ASSOCIATED PTY LTD PH 0412 294 712
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		A	22.07.2024	ISSUED FOR DA										
		P1	21.05.2024	CONCEPT PLAN										
		REV	DATE	NOTATION/AMENDMENT	ELECTRICAL / BASIX CONSULTANT GREENVIEW CONSULTING PTY LTD PH (02) 8544 1683									LANDSCAPE CONSULTANT RAY FUGGLE & ASSOCIATED PTY LTD PH 0412 234 712
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.														

Regulated Design Record				
Project Address: 29-35 LOCHINVAR ROAD REVESBY NSW 2212				
Project Title: Seniors Housing Development				
Consent No: BH27J - ?????		Body Corporate Reg No:		
Drawing Title: SEDIMENT CONTROL PLAN - SHEET 3		Drawing No: Sheet 14		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No



SEDIMENT LEGEND

SITE ENTRANCE/EXIT

SITE FENCE

SEDIMENT FENCING

SEDIMENT TRAP FOR KERB INLET

GEOTEXTILE INLET FILTER

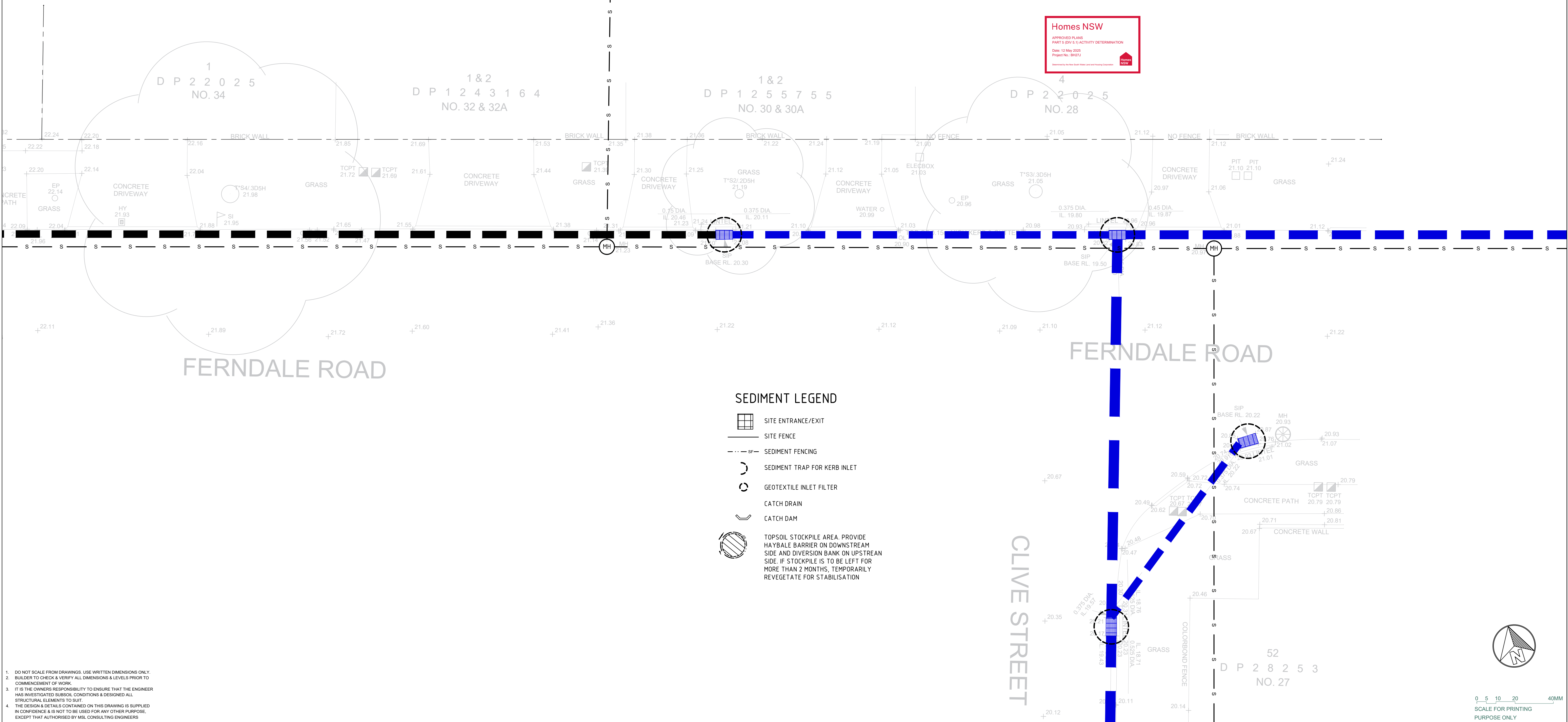
CATCH DRAIN

CATCH DAM

TOPSOIL STOCKPILE AREA. PROVIDE HAYBALE BARRIER ON DOWNSTREAM SIDE AND DIVERSION BANK ON UPSTREAM SIDE. IF STOCKPILE IS TO BE LEFT FOR MORE THAN 2 MONTHS, TEMPORARILY REVEGETATE FOR STABILISATION

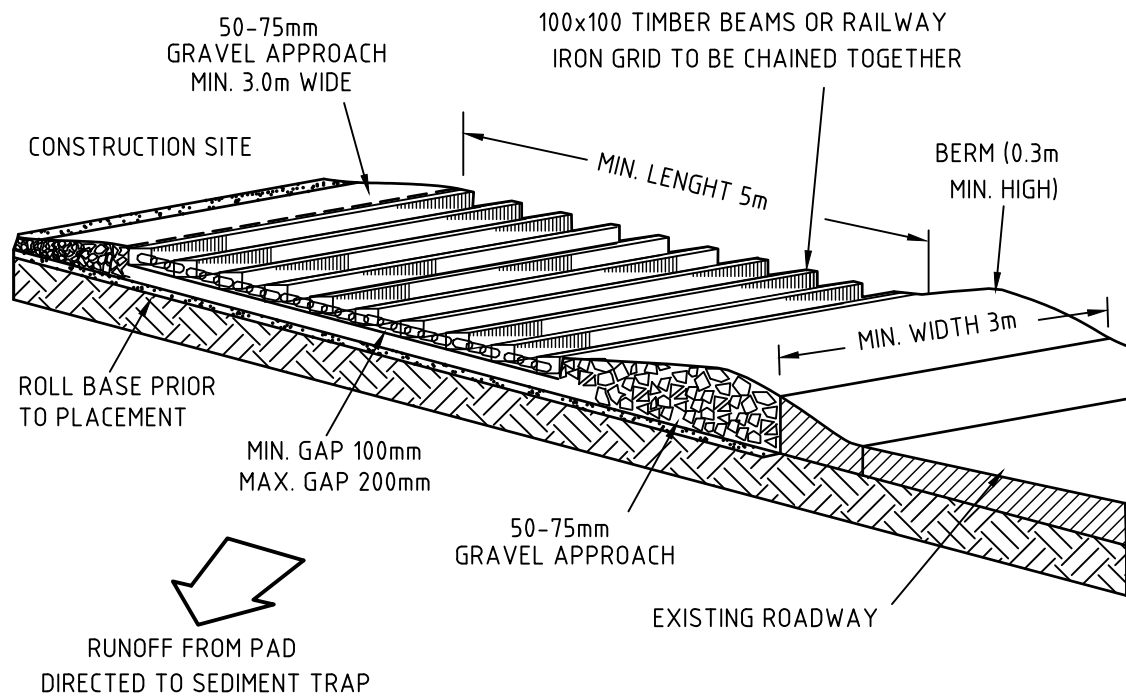
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REV	DATE	NOTATION/AMENDMENT																																						
B	04.10.2024	ISSUED FOR DA																																						
A	22.07.2024	ISSUED FOR DA																																						
P1	21.05.2024	CONCEPT PLAN																																						
PROJECT MANAGER HOMES NSW PH 1800 738 718	STRUCTURAL / CIVIL / STORMWATER CONSULTANT MSL CONSULTING ENGINEERS PTY LTD PH (02) 4226 5247																																							
ARCHITECT DTA Architects Pty Ltd PH (02) 9601 1011	HYDRAULIC CONSULTANT ABEL & BROWN PTY LTD PH (02) 9709 2105																																							
ELECTRICAL / BASIX CONSULTANT GREENVIEW CONSULTING PTY LTD PH (02) 8544 1683	LANDSCAPE CONSULTANT RAY FUGGLE & ASSOCIATED PTY LTD PH 0412 294 712																																							
DATE: 04/10/24	SCALE: 1:100 @ A1	PROJ: BH27J	JOB: 23208																																					
STAGE: B	DRAWN: WT	CHECKED: MP	CERTIFIER: MP																																					

[illegible]

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		B	04.10.2024	ISSUED FOR DA	ARCHITECT DTA Architects Pty Ltd PH (02) 9601 1011	HYDRAULIC CONSULTANT ABEL & BROWN PTY LTD PH (02) 9709 5705		DATE: 04/10/2024	SCALE: 1:100 @ A1		PROJ: BH27J	JOB: 23208			
		A	22.07.2024	ISSUED FOR DA				STAGE: B	DRAWN: SHET		CHECKED: MP	CLEAR: MP			
		P1	21.05.2024	CONCEPT PLAN											
		REV	DATE	NOTATION/AMENDMENT											
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.				ELECTRICAL / BASIC CONSULTANT GREENVIEW CONSULTING PTY LTD PH (02) 8544 1693	LANDSCAPE CONSULTANT RAY FUGGLE & ASSOCIATED PTY LTD PH 0412 234 712	at LOTS 52, 53, 54 & 55 IN DP 36467 29-35 LOCHINVAR ROAD REVESSBY NSW 2212		FILE:	PLOTTED: 04/10/2024	TYPE: SW	SHEET: 16 of 17	REV: B			

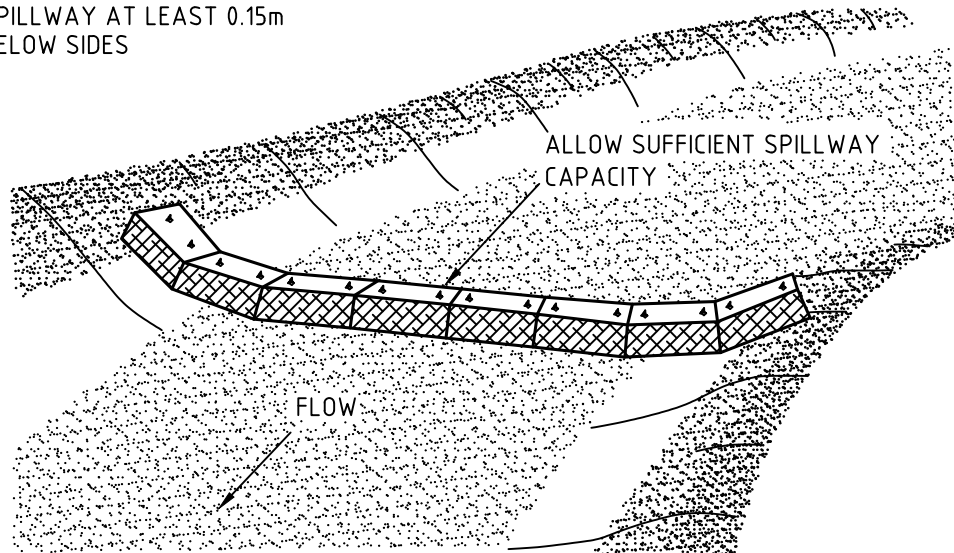
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Project Address: 29-35 LOCHINVAR ROAD REVESBY NSW 2212				
Project Title: Seniors Housing Development				
Consent No: BH27J - ?????		Body Corporate Reg No:		
Drawing Title: SEDIMENT & EROSION CONTROL DETAILS		Drawing No: Sheet 17		
Rev	Date dd.mm.yy	Description	DP Full Name	Reg No



TEMPORARY CONSTRUCTION ENTRY/EXIT

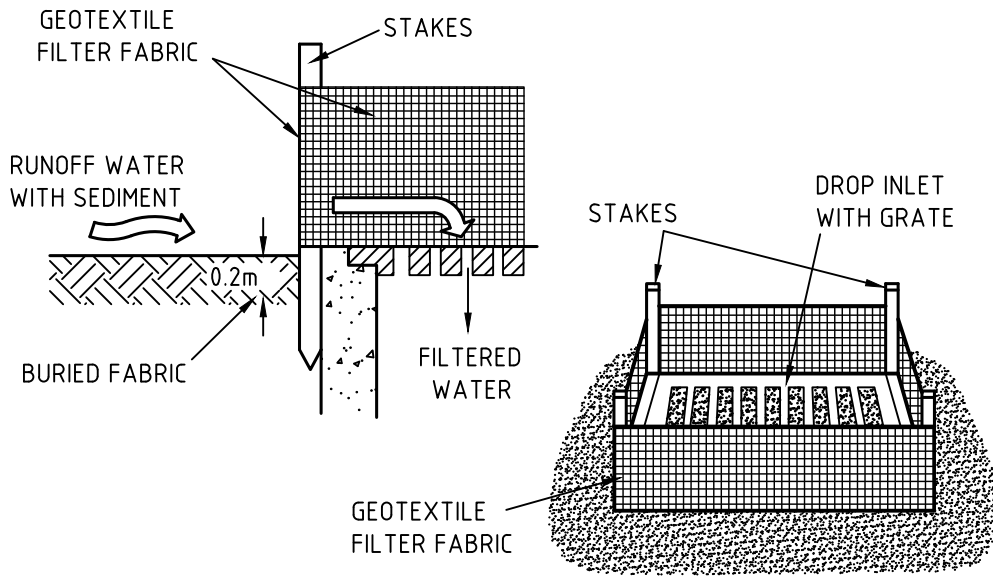
NOT TO SCALE

DRAINAGE AREA 0.8ha MAX.
HEIGHT 0.6m MAX.
SPILLWAY AT LEAST 0.15m BELOW SIDES



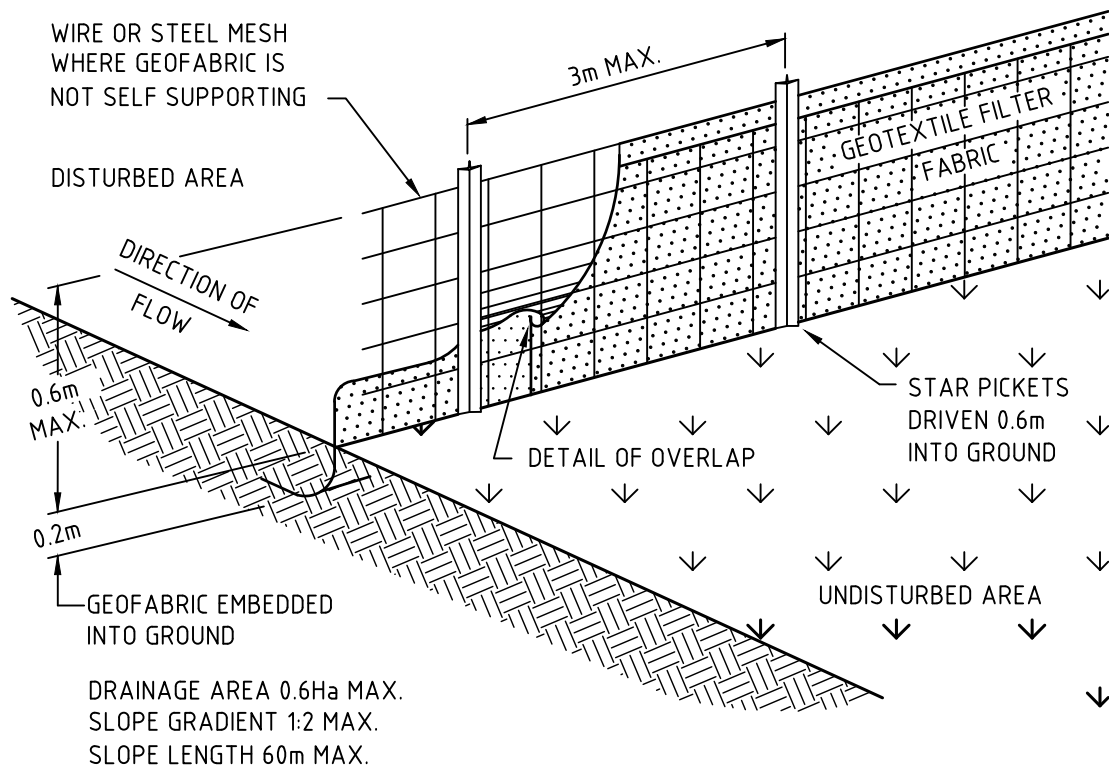
STRAW BALE CHECK DAM

NOT TO SCALE



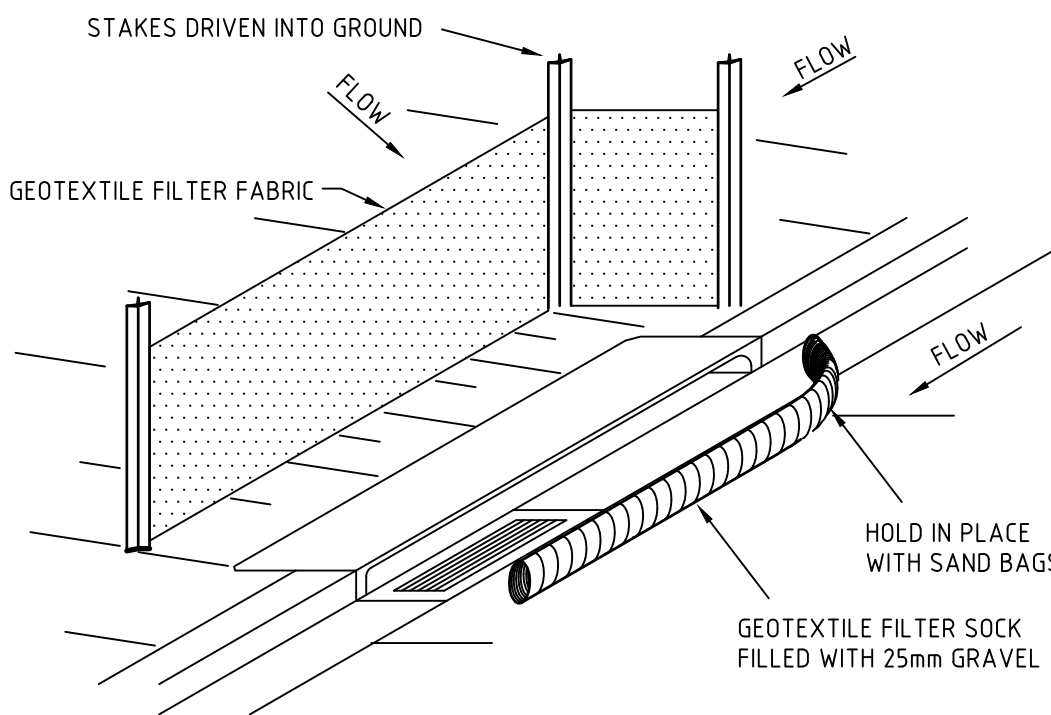
GEOTEXTILE FILTER FABRIC DROP INLET SEDIMENT TRAP

NOT TO SCALE



SILT STOP FENCE - TYPICAL INSTALLATION

NOT TO SCALE



KERB INLET PIT SEDIMENT BARRIER

NOT TO SCALE

- DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
- BUILDER TO CHECK & VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK.
- IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL STRUCTURAL ELEMENTS TO SUIT.
- THE DESIGN & DETAILS CONTAINED ON THIS DRAWING IS SUPPLIED IN CONFIDENCE & IS NOT TO BE USED FOR ANY OTHER PURPOSE, EXCEPT THAT AUTHORISED BY MSL CONSULTING ENGINEERS



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w www.mslengineers.com.au

REV	DATE	NOTATION/AMENDMENT
B	04.10.2024	ISSUED FOR DA
A	22.07.2024	ISSUED FOR DA
P1	21.05.2024	CONCEPT PLAN
REV	DATE	NOTATION/AMENDMENT
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

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LANDSCAPE CONSULTANT
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PROJECT:
SENIORS HOUSING DEVELOPMENT

at
LOTS 52, 53, 54 & 55 IN DP 36467
29-35 LOCHINVAR ROAD
REVESBY NSW 2212

TITLE:
SEDIMENT & EROSION CONTROL DETAILS

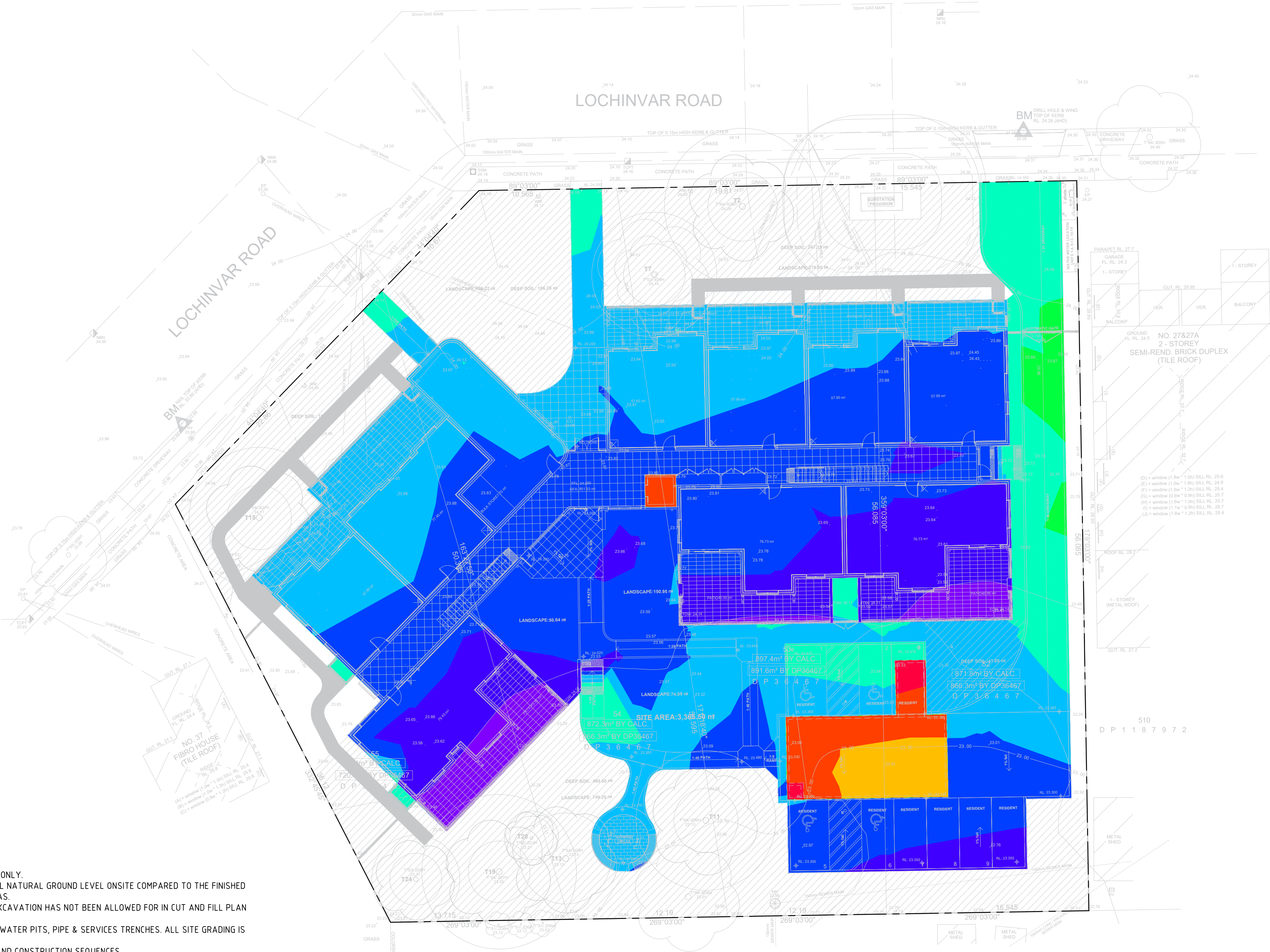
FILE:












STATUS: DA ISSUE

DATE	SCALE	PROJ	JOB
04/10/24	N.T.S. @ A1	BH27J	23208
STAGE	DRAWN	CHECKED	CERTIFIER
B	WT	MP	MP

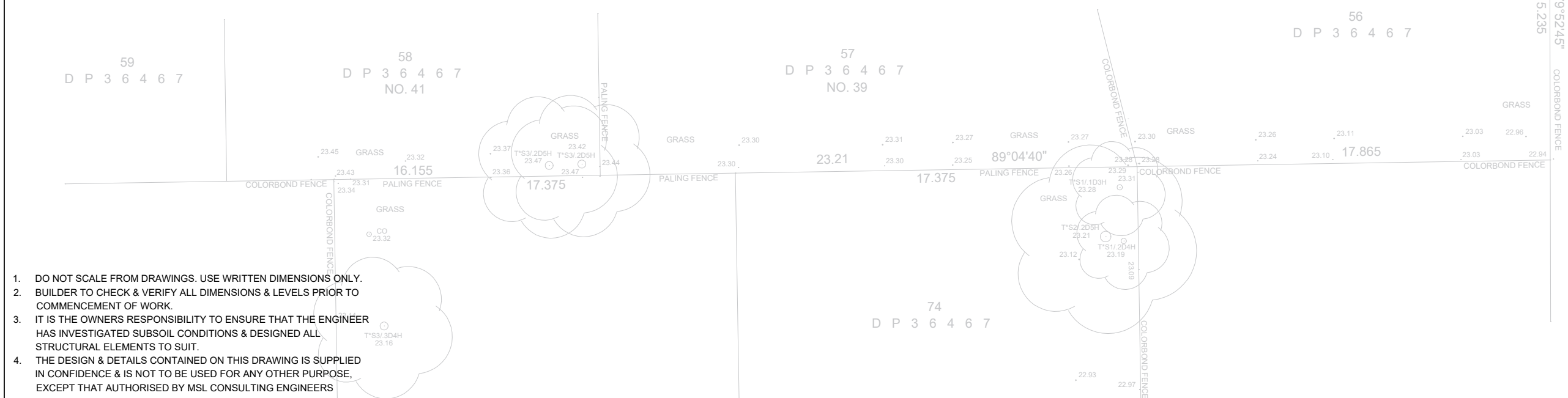
TYPE: SW
SHEET: 17 of 17
REV: B

0 5 10 20 40MM
SCALE FOR PRINTING PURPOSE ONLY

[illegible]

Number	Color	Minimum Elevation (m)	Maximum Elevation (m)	2D Area (m²)	Volume (m³)
1		-1.300	-1.100	7.0	0.4
2		-1.100	-0.900	50.8	4.7
3		-0.900	-0.700	36.7	16.6
4		-0.700	-0.500	0.1	18.9
5		-0.500	-0.300	0.1	18.9
6		-0.300	-0.100	29.3	19.4
7		-0.100	0.100	219.7	208.9
8		0.100	0.300	692.8	316.3
9		0.300	0.500	811.5	148.9
10		0.500	0.700	277.3	36.3
11		0.700	0.900	70.4	4.7

- ALL CUT AND FILL VOLUMES ARE APPROXIMATE AND SHOULD BE USED AS A GENERAL INDICATION ONLY.
- CUT/FILL ELEVATIONS SHOWN COLOURED ARE THE CUT/FILL LEVEL DIFFERENCE BETWEEN ORIGINAL NATURAL GROUND LEVEL ONSITE COMPARED TO THE FINISHED CUT OR FILL BULK EXCAVATION LEVEL UNDER SLABS AND TOP OF LANDSCAPING/COMMUNAL AREAS.
- BORED PIERS, STRIP FOOTINGS, RETAINING WALL FOOTINGS & UNDERGROUND RAINWATER TANK EXCAVATION HAS NOT BEEN ALLOWED FOR IN CUT AND FILL PLAN (BUILDER TO CONFIRM ONSITE).
- CONTRACTOR TO ALLOW FOR ANY ADDITIONAL EXCAVATIONS & CONTRACTOR TO ALLOW FOR STORMWATER PITS, PIPE & SERVICES TRENCHES. ALL SITE GRADING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- CUT AND FILL MAY VARY ON SITE DUE TO SITE CONSTRUCTION WORKS SUCH AS PIPE TRENCHING AND CONSTRUCTION SEQUENCES.



0 5 10 20 40MM
SCALE FOR PRINTING
PURPOSE ONLY

	LOCKED BAG 5022 PARRAMATTA NSW 2124 PHONE NO 1800 738 718		 MSL Consulting Engineers Pty Limited ABN 72 903 080 591 ACN 142 291 165 Suite 102 - 62 Harbour St, Wollongong NSW PO Box 567 Dagda NSW P: 02 4208 5047 e: info@mslengineers.com.au w: www.mslengineers.com.au				PROJECT MANAGER HOMES NAWA PH 1800 738 718		STRUCTURAL / CIVIL / STORMWATER CONSULTANT MSL CONSULTING ENGINEERS PTY LTD PH (02) 4208 5047		BUSINESS PARTNER:  		PROJECT TITLE: SENIORS HOUSING DEVELOPMENT			
					ARCHITECT DTA Architects Pty Ltd PH (02) 9601 1011		HYDRAULIC CONSULTANT ABEL & BROWN PTY LTD PH (02) 9709 5705		at LOTS 52, 53, 54 & 55 IN DP 36467 29-35 LOCHINVAR ROAD REVESSBY NSW 2212							
	A 22/07/2024 ISSUED FOR DA															
	REV DATE NOTATION/AMENDMENT				DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		ELECTRICAL / BASIX CONSULTANT GREENVIEW CONSULTING PTY LTD PH (02) 8544 1883		LANDSCAPE CONSULTANT RAY FUGGLE & ASSOCIATED PTY LTD PH 0412 294 712							